

8/12/2017 4:52:27 PM
IF THIS IS NOT 24"x36", IT IS A REDUCED PRINT - SCALE ACCORDINGLY
11/2"=1'-0"

TRACT TABLE

LOT 1	1,468 SQ. FT. 0.033 ACRES
LOT 2	1,461 SQ. FT. 0.033 ACRES
LOT 3	1,461 SQ. FT. 0.033 ACRES
LOT 4	1,461 SQ. FT. 0.033 ACRES
LOT 5	1,461 SQ. FT. 0.033 ACRES
LOT 6	1,461 SQ. FT. 0.033 ACRES
LOT 7	1,468 SQ. FT. 0.033 ACRES
TRACT A	21,199 SQ. FT. 0.647 ACRES

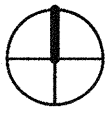
SITE PLAN NOTES

- Development and use of this site will conform with all applicable codes and ordinances.
- Any lighting will be placed so as the direct light away from adjacent residential districts and will not exceed one foot candle at the property line. No noise, odor or vibration will be emitted at any level exceeding the general noise, odor, or vibration emitted by uses in the area outside of the site.
- Owners of property adjacent to public rights-of-way, or a property owner's association, will have the responsibility for maintaining all landscaping located within the rights-of-way, in accordance with approved plans.
- All signage requires separate review, approvals, and permits. No signs are approved per this plan.
- Additional individual lot requirements (i.e. setbacks, wall elevations) are located on the Final Site Plan.

Date 10/05/2018

I consent to the reproduction of this site plan for the purpose of future amendments provided that if modifications are made, the Architects who make such changes assume full responsibility and liability for the plan.

VICINITY MAP



CODE DATA

APPLICABLE BUILDING CODES:	2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL BUILDING CODE *FOR USE AS REFERENCED IN THE IRC 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FIRE CODE, *WITH PHOENIX AMENDMENTS 2017 NATIONAL ELECTRICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL GREEN CONSTRUCTION CODE *FOR VOLUNTARY USE ONLY CURRENT PHOENIX ZONING ORDINANCE
PROJECT DESCRIPTION:	WOOD FRAMED 2 STORY TOWNHOME WITH ATTACHED GARAGE
CONSTRUCTION TYPE:	VB, SPRINKLERED

SITE PLAN NOTES

Number	Description
101	Property line.
102	Existing 20' alley. Alley shall not be used for fire department emergency access.
103	10'x20' site visibility triangle.
104	Curb cut to be ADA compliant.
105	Existing sidewalk.
106	Barbecue area. See landscape.
107	Existing bike lane.
108	Building signage - Moli Gardens.
109	Building overhang above.
110	Individual unit trash container. Typical at each unit.
111	Individual unit recycling container. Typical at each unit.
112	Decomposed granite. See landscape drawings.
113	Concrete drive with curb at all edges. See civil drawings.
114	Accessible pathway to unit entries made of concrete.
115	Zen garden. See landscape.
116	6'-0" Decorative CMU wall.
118	33' Right of Way.
119	Existing fire hydrant.
121	Guest parking at driveway.
122	Ballard with light.
123	Existing 6'-0" CMU wall to remain.
124	Moli Gardens North - Property to be developed in conjunction with Moli Gardens South.
125	8'-0" PUE.
126	Underground retention. See civil.
127	Entry gate.
129	Utility pole to be removed - consequent utilities to be buried.
130	Utility pole to remain.
131	Unit entry number with light.
132	Existing Street Light
133	Existing Light to be removed along with utility pole
134	Existing damaged utility pole to be replaced.
135	Concrete curb.

PROJECT INFORMATION

PROJECT NAME AND ADDRESS

DESIGN TEAM

APPLICANT:

LEGAL DESCRIPTION

PROJECT DESCRIPTION

This project will demolish 1 existing residence, then combine 3 properties into 1 lot. The new building will consist of wood-framed 2-story, 3 bedroom townhouses with garages and front yards. There will be a total of 7 units and 1 common green space.

GENERAL ZONING ANALYSIS

PARCEL NUMBERS:

LOT AREA: 18,252 NSF (0.4190 ACRE)
23,737 GSF (0.5449 ACRE)

ZONING: R-4

CONSTRUCTION TYPE TYPE IV-A

BUILDING HEIGHT: PROPOSED
35'-6"

BUILDING FOOTPRINT: PROPOSED
8,740 S.F.

LOT COVERAGE: PROPOSED
8,740 / 18,252 = 48%

DWELLING UNIT DENSITY: PROPOSED
7 units(0.54) = 12.9 du/ac

SETBACKS: PROPOSED
Front (East): 25'-0"
Side (North): 14'-0"
Side (South): 20'-2"
Rear (West): 10'-0"

SIDEWALKS: 5'-0" Min. (Existing)

SPRINKLERED YES

PROPOSED LOT SALES: YES

MEDICAL OFFICES: NO

DEVELOPMENT OPTION: 4 - Single Family Attached (D)

PARKING REQUIRED: R-4
Per Section 702 (2 Per 3-Bedroom SFA)
7 x 2 = 14 Parking Stalls
7 x .25 Guest = 2 Parking Stalls
SEE VARIANCES FOR REDUCTION IN GUEST PARKING

PARKING PROVIDED: 7 - 2-Car Garages = 14 Stalls
14 - Reserved Guest Parking Spaces = 14 Stalls

Total Parking Provided
14 covered stalls
14 uncovered stalls
28 stalls on-site

OPEN SPACE: REQUIRED OPEN SPACE
23,737 x .05 = 1,186 S.F.

PROVIDED OPEN SPACE
20'-0" x 85'-0" = 1,700 S.F.
(exclusive of landscape buffer)

OPEN SPACE PERCENTAGE
1,700 S.F. / 23,737 G.S.F. = 7.2%

CONSTRUCTION DOCUMENTS

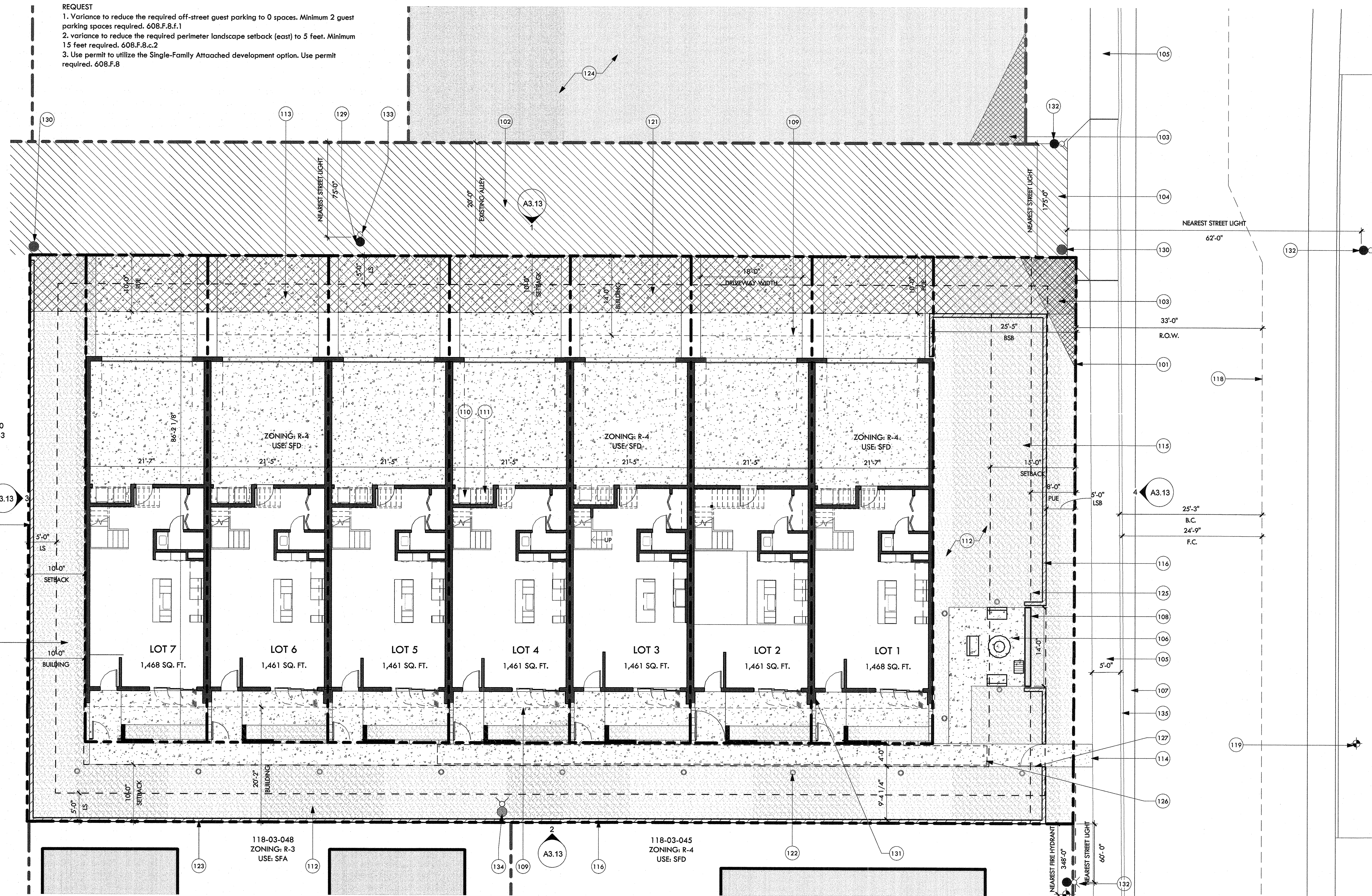
Revision Schedule		
No.	Date	Description
1	05.21.2019	OWNER UPDATES

Expires 09/30/2019

Site Plan South

DRAWING No.

A1.10

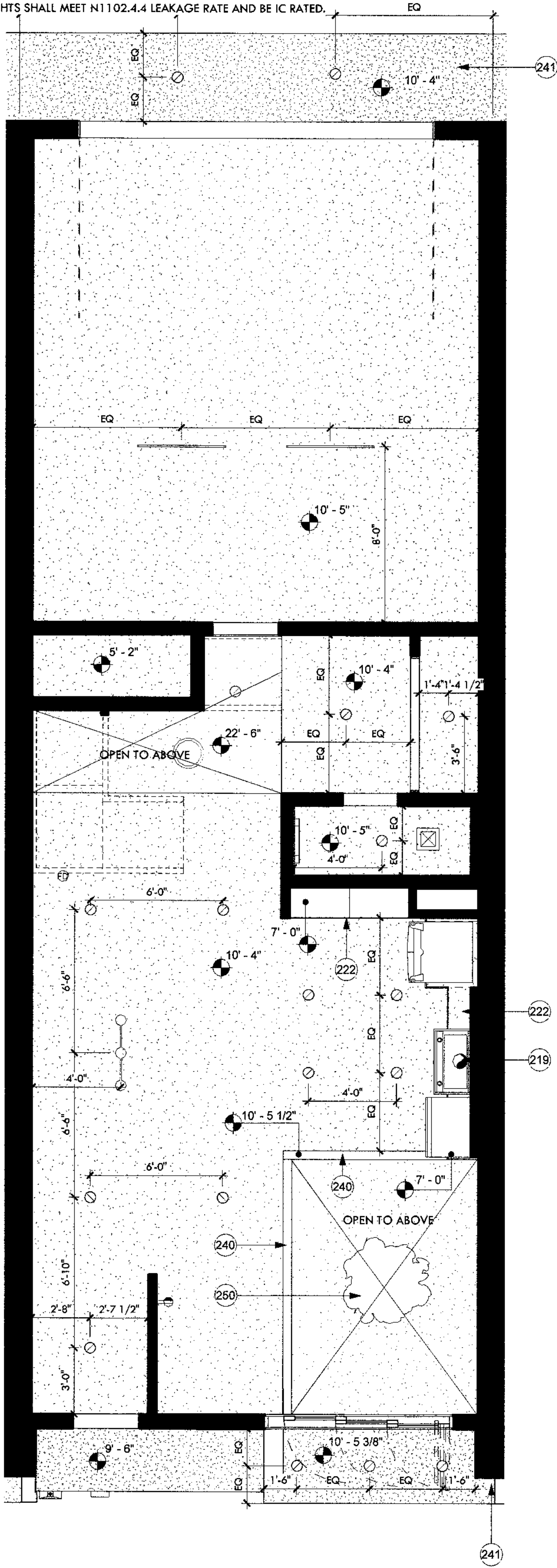


1 00 - Site Plan
1" = 10'-0"

8/12/2019 4:52:39 PM
IF THIS IS NOT 24"x36", IT IS A REDUCED PRINT - SCALE ACCORDINGLY
PLEASE RECYCLE

RCP PLAN NOTES

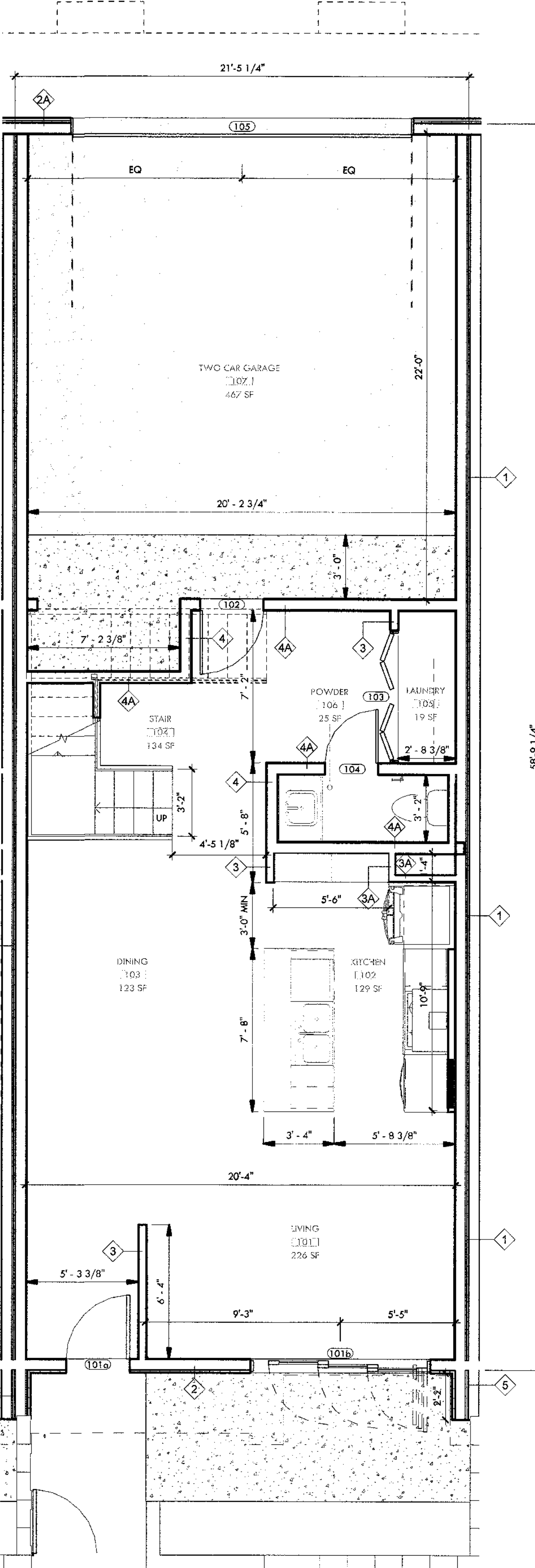
1. GYP. BD. CEILINGS IN LIVING SPACES TO BE ATTACHED TO BOTTOM OF WOOD TRUSS, UNLESS OTHERWISE NOTED. COORDINATE WITH STRUCTURAL TO GET MAXIMUM CEILING HEIGHT.
2. NON ABSORBENT (MOISTURE RESISTANT) DENSGLAS OR EQUAL TO BE PROVIDED IN ALL WET AREAS.
3. VERIFY LOCATION OF ALL MECHANICAL VENTS WITH MECHANICAL DRAWINGS.
4. ALL PLANS REPRESENT A TYPICAL UNIT LAYOUT.
5. GYPSUM BOARD FINISH LEVELS: FINISH PANELS TO LEVELS INDICATED BELOW AND ACCORDING TO ASTM C 840. LEVEL 4: AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW UNLESS OTHERWISE INDICATED.
6. COMPARE REFLECTED CEILING PLANS WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN AND EXHAUST PLANS. REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
7. COORDINATE GYPSUM BOARD FURR DOWN HEIGHTS WITH FULL HEIGHT CABINETS AND INTERIOR ELEVATIONS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
8. ACCESS PANELS SHALL BE FIRE RATED EQUAL TO THE RATING OF THE CEILING IN WHICH THEY OCCUR.
9. RECESSED LIGHTS SHALL MEET N1102.4.4 LEAKAGE RATE AND BE IC RATED.



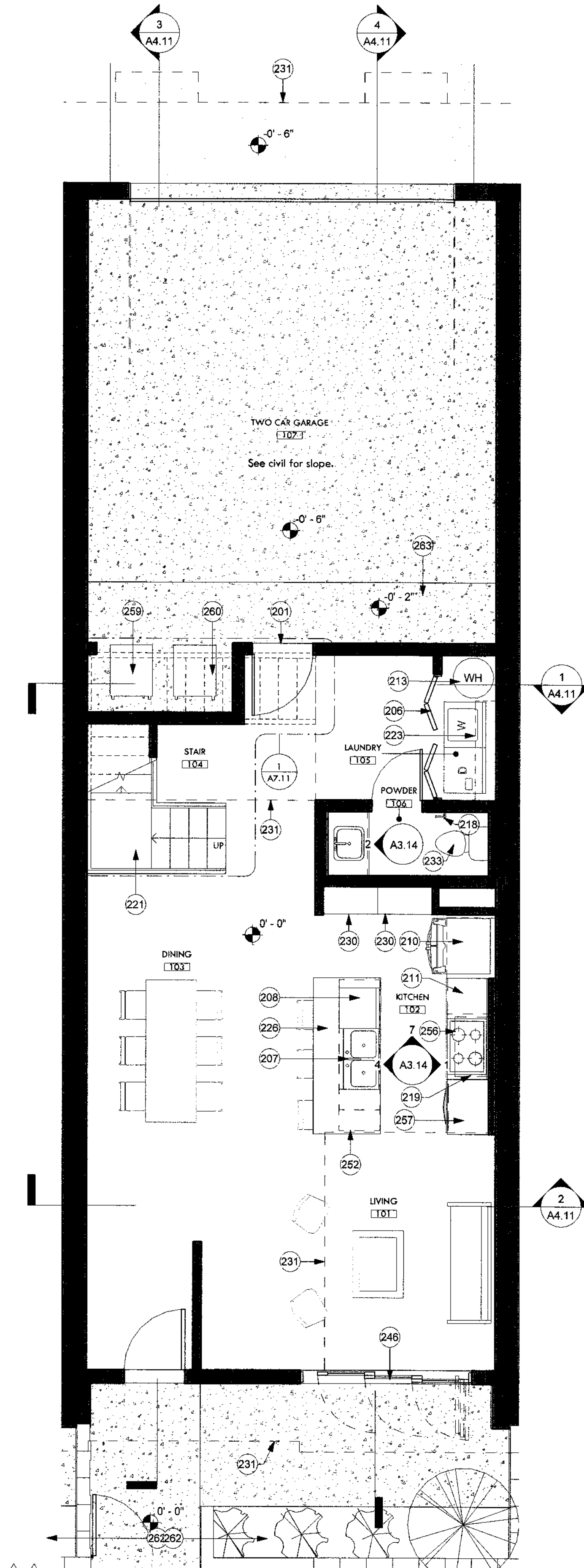
01 - Unit Ground Floor RCP
1/4" = 1'-0"

FLOOR PLAN NOTES

1. COORDINATE WITH SITE PLAN FOR OVERALL UNIT DIMENSIONS.
2. ALL WET SPACES TO PROVIDE MOISTURE RESISTANT SURFACE, DENSGLAS OR EQUAL.
3. INTERIOR FINISH SURFACE SHALL NOT BE INSTALLED PRIOR TO HAVING THE BUILDING WEATHER TIGHT.
4. INSULATION SHALL EXTEND TO DECK AT ALL EXTERIOR WALLS.
5. ALL SURFACES EXPOSED SHALL BE FINISHED AS SPECIFIED, STAINED, OR PAINTED.
6. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND SPECIAL SYSTEMS, PIPING, CONDUIT, EQUIPMENT, DUCT, WIRING, ETC. SHALL RUN CONCEALED BEHIND FINISHED SURFACES INCLUDING THOSE AREAS WHERE A CONCEALED INSTALLATION REQUIRES CUTTING AND PATCHING OF EXISTING SURFACES.
7. TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.
8. CONSTRUCTION DEBRIS SHALL BE REGULARLY REMOVED ON A CONTINUING BASIS. THE SITE SHALL BE MAINTAINED 'NEAT' IN APPEARANCE.
9. SEE PROJECT LEGEND FOR DIMENSION TYPES. TICKS ARE TO FACE OF STUD; ARROWS ARE TO FINISH FACE.
10. THE COMMON WALL SHARED BY TWO TOWNHOMES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, OR DUCTS OR VENTS, IN THE CAVITY OF THE COMMON WALL, PER IRC R302.2.2.



01 - Unit Dimensioned Plan
1/4" = 1'-0"



01 - Unit Ground Floor Plan
1/4" = 1'-0"

KEYNOTES

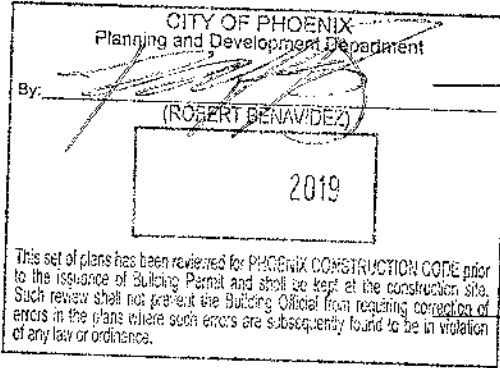
201	20-minute rated solid wood unit entry door per 302.5.1, typ. U.N.O. Paint finish per architect. Paint to match unit metal panel. See door schedule.
206	1 1/4" hollow core 2 panel bi-fold flush door. Paint finish per architect. See door schedule.
207	Double 10" deep stainless steel sink with garbage disposal. BOD: Kohler Ballard under-mount double-equal kitchen sink, K-5691. See plumbing.
208	DW1: Dishwasher, Energystar rated. BOD: GE Built-in dishwasher with hidden controls, GSD4060KSS.
210	REF-1: Refrigerator w/ ice maker, Energystar rated. BOD: GE ENERGY STAR 25.3 Cu. Ft. Side-By-Side Refrigerator, GSE25GSHSS.
211	Lower cabinets w/ quartz countertops and backsplash. Quartz BOD: Arizona Tile New Carrara Quartz.
213	Water heater. See plumbing.
218	Toilet paper holder, BOD Kohler Coralais K-13434-CP.
219	RHD-1: Range hood exhaust vent. Diameter not to exceed 6" with minimum 26GA steel. BOD: 30" Designer wall mount hood w/ perimeter venting, UVW9301SLSS.
221	Wood framed stair with LVT flooring. See vertical circulation and structural drawings.
222	Gyp. bd. soffit flush with upper cabinets, typ. Provide backing above stove to mount exhaust vent.
223	Closet w/ clothing rod and white melamine shelf. Paint clothing rod white.
226	Quartz countertop island with lower cabinets. Provide outlet receptacle. Quartz BOD: Arizona Tile New Carrara Quartz.
230	Built-in pantry casework.
231	Level 2 footprint above.
233	High-efficiency toilet. See plumbing.
240	Exposed glulam beam, architectural grade. Wrap and protect during construction. See structural.
241	Stucco soffit. Paint per architect.
246	3 panel aluminum triple slider glass door. BOD: Western Window Series 7950 Bi-Fold Door, dark bronze anodized. Tempered.
250	Pendant light. BOD: Leaf lamp pendant 130 Green Furniture Concept, LP130.
252	Waterfall edge. Carry same thickness countertop down edge of cabinetry to floor. See detail.
256	CT-1: Electric black ceramic glass cooktop. BOD: GE 30" Built-in knob control electric cooktop, JP3030D/BB.
257	RNGMW-1: Combo stacked microwave and oven. BOD: GE 30" Built-in combination microwave/thermal wall oven, JT3800SHSS.
259	Trash can.
260	Recycling can.
262	River rock. See landscape drawings.
263	4" Concrete car stop.

WALL TYPE LEGEND

1.	1 layer of 5/8" Gyp. bd with point finish, Batt Insulation, 2x6 Wood Studs, 5/8" Gyp. bd., 1/2" Sheathing (Per structural plans), 1/2" Air gap, 5/8" Gyp. bd., 2x6 Wood studs, Batt Insulation, 1 layer of 5/8" gyp. bd. with point finish.
A.	Metal Panel Wall System, 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with point finish (both sides).
B.	Metal Panel Wall System, 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with point finish (exterior side).
C.	Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with point finish (both sides).
D.	Add 2x4 Wood Stud Furring, 5/8" Gyp. bd. (interior).
2.	Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, Sheathing, 2x6 Wood Studs, Batt insulation, 5/8" Gyp. bd. with point finish.
A.	Metal Panel Wall System ILO Western 1-Kote stucco.
3.	5/8" Gyp. bd. with point finish, 2x4 Wood Studs, 5/8" gyp. bd. with point finish.
A.	Omit 5/8" Gyp. bd with point finish (exterior side).
B.	Add 1/2" Sheathing per structural.
C.	Add batt insulation.
4.	5/8" Gyp. bd. with point finish, 2x6 Wood Studs, 5/8" gyp. bd. with point finish.
A.	Add 1/2" Sheathing per structural.
B.	Omit 5/8" Gyp. bd (interior side).
5.	Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, heating, 2x6 Wood Studs, Batt insulation, 5/8" Gyp. bd., 1" air gap, 5/8" Gyp. Bd., 2x6 Wood Studs, Sheathing, 1" Rigid Insulation, Western 1-Kote stucco (IAPMO UES ER-382)

RCP LEGEND

	Surface Mounted Light BOD Philips Lightoller SlimSurface S7R White finish
	Pendant Light BOD Leaf Lamp Pendant 130 Green Furniture Concept
	3 Pendant Lights BOD Philips UniOne Pendant Micro
	Ceiling Mounted Fan/w Light BOD Hampton Bay Rockport 52" LED Brushed Nickel Ceiling Fan with Light
	Surface Mounted Strip Light BOD Philips SlimBalance
	Vanity Light BOD Philips VL Vanity Light
	Exhaust Diffuser
	Return Diffuser
	Supply Diffuser
	Range Exhaust
	Solatube with Daylight Dimmer Curb Mount JustFrost
	Outlet placed at 4'-0" A.F.F. for TV



Expires 09/30/2019

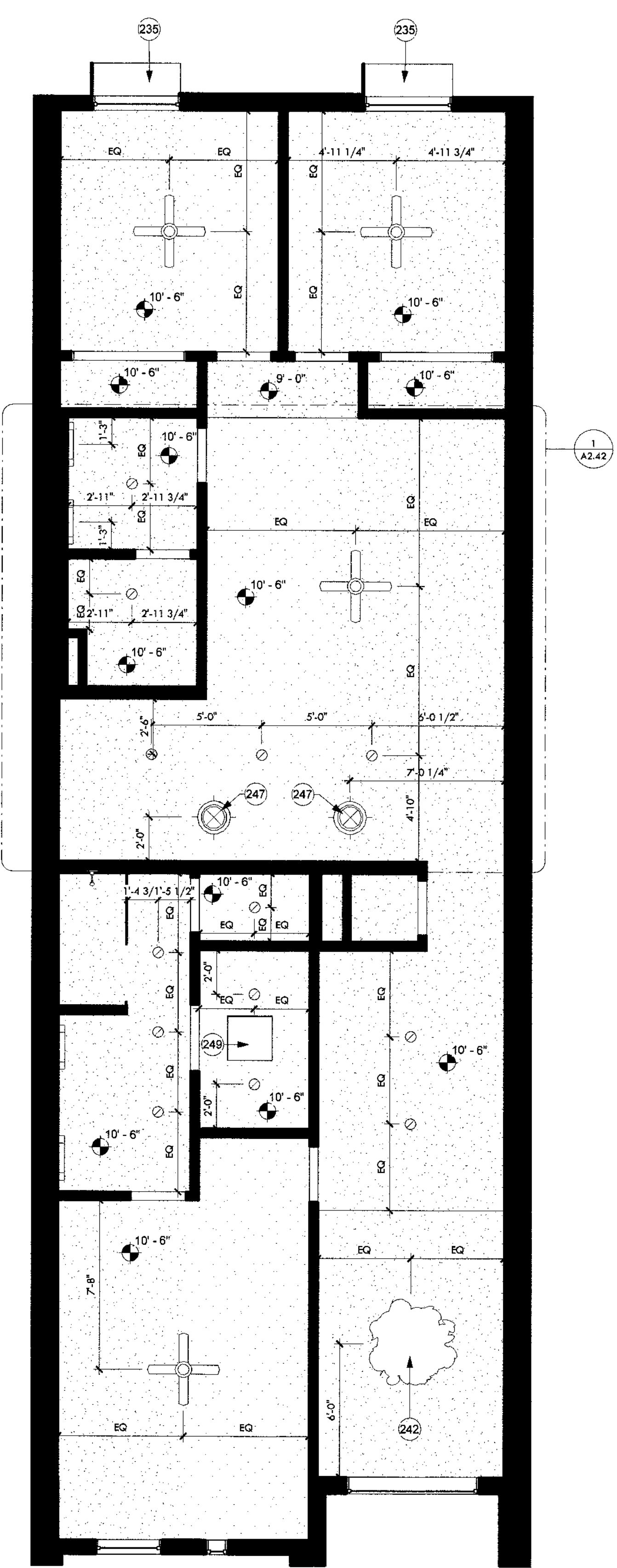
Unit Ground Floor Plans

DRAWING NO.

A2.11

RCP PLAN NOTES

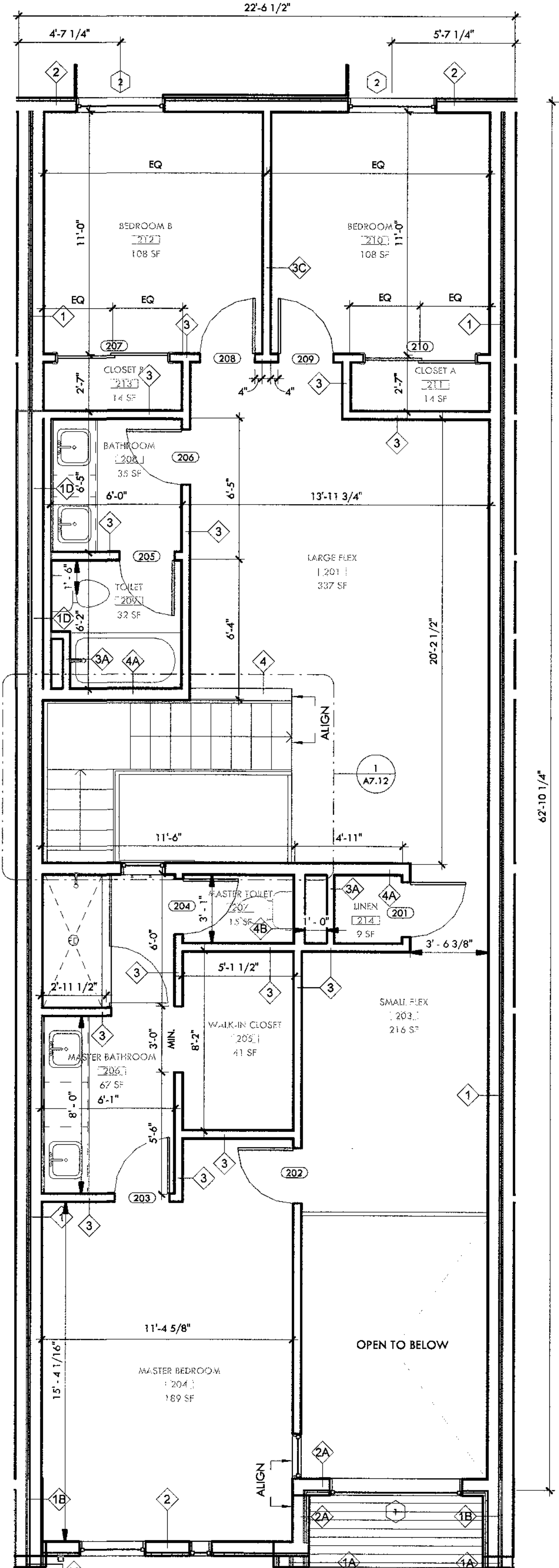
- 1. GYP. BD. CEILINGS IN LIVING SPACES TO BE ATTACHED TO BOTTOM OF WOOD TRUSS, UNLESS OTHERWISE NOTED. COORDINATE WITH STRUCTURAL TO GET MAXIMUM CEILING HEIGHT.
- 2. NON ABSORBENT (MOISTURE RESISTANT) DENSGLAS OR EQUAL TO BE PROVIDED IN ALL WET AREAS.
- 3. VERIFY LOCATION OF ALL MECHANICAL VENTS WITH MECHANICAL DRAWINGS.
- 4. ALL PLANS REPRESENT A TYPICAL UNIT LAYOUT.
- 5. GYPSUM BOARD FINISH LEVELS: FINISH PANELS TO LEVELS INDICATED BELOW AND ACCORDING TO ASTM C 840. LEVEL 4: AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW UNLESS OTHERWISE INDICATED.
- 6. COMPARE REFLECTED CEILING PLANS WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN AND EXHAUST PLANS. REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- 7. COORDINATE GYPSUM BOARD FURR DOWN HEIGHTS WITH FULL HEIGHT CABINETS AND INTERIOR ELEVATIONS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- 8. ACCESS PANELS SHALL BE FIRE RATED EQUAL TO THE RATING OF THE CEILING IN WHICH THEY OCCUR.
- 9. RECESSED LIGHTS SHALL MEET N1102.4.4 LEAKAGE RATE AND BE IC RATED.



02 - Unit Second Floor RCP
1/4" = 1'-0"

FLOOR PLAN NOTES

- 1. COORDINATE WITH SITE PLAN FOR OVERALL UNIT DIMENSIONS.
- 2. ALL WET SPACES TO PROVIDE MOISTURE RESISTANT SURFACE, DENSGLAS OR EQUAL.
- 3. INTERIOR FINISH SURFACE SHALL NOT BE INSTALLED PRIOR TO HAVING THE BUILDING WEATHER TIGHT.
- 4. INSULATION SHALL EXTEND TO DECK AT ALL EXTERIOR WALLS.
- 5. ALL SURFACES EXPOSED SHALL BE FINISHED AS SPECIFIED, STAINED, OR PAINTED.
- 6. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND SPECIAL SYSTEMS, PIPING, CONDUIT, EQUIPMENT, DUCT, WIRING, ETC. SHALL RUN CONCEALED BEHIND FINISHED SURFACES INCLUDING THOSE AREAS WHERE A CONCEALED INSTALLATION REQUIRES CUTTING AND PATCHING OF EXISTING SURFACES.
- 7. TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.
- 8. CONSTRUCTION DEBRIS SHALL BE REGULARLY REMOVED ON A CONTINUING BASIS. THE SITE SHALL BE MAINTAINED 'NEAT' IN APPEARANCE.
- 9. SEE PROJECT LEGEND FOR DIMENSION TYPES. TICKS ARE TO FACE OF STUD; ARROWS ARE TO FINISH FACE.
- 10. THE COMMON WALL SHARED BY TWO TOWNHOMES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, OR DUCTS OR VENTS, IN THE CAVITY OF THE COMMON WALL, PER IRC R302.2.2.



02 - Unit Second Floor Dimensioned Plan
1/4" = 1'-0"

KEYNOTES

202	1 1/4" hollow core sliding closet door. Paint finish per architect. See door schedule.
203	1 1/4" solid core flush door. Paint finish per architect. See door schedule.
214	Sink cabinet with top mounted vanity sink. Provide quartz countertop and backsplash. Quartz BOD: Arizona Tile New Carrara Quartz.
217	Towel bar, provide 2x12 backing.
218	Toilet paper holder, BOD Kohler Coralais K-13434-CP.
223	Closet w/ clothing rod and white melamine shelf. Paint clothing rod white.
228	Robe hook, typ. Provide backing.
233	High-efficiency toilet. See plumbing.
235	1/4" steel shade fin, typ. See details.
237	Towel hook.
238	Hand towel holder.
239	Install curved shower rod.
242	Morin Matrix Series metal panel soffit, match adjacent finish.
247	Skylight solar tube ILO Roof Deck Option. BOD: Solatube 160 DS eChoice with Daylight Dimmer Curb Mount JustFrost.
253	42" high framed pany wall. Gyp bd. with paint finish.
254	42" high 1/2" HSS steel railing with steel posts and wood handrail. See Details.
261	Shower area drain BOD: Schluter, details per manufacturer.
280	Interior transom, no trim. Frosted finish. Add alt. See window schedule.

WALL TYPE LEGEND

	1. 1 layer of 5/8" Gyp. bd with paint finish, Batt Insulation, 2x6 Wood Studs, 5/8" Gyp. bd., 1/2" Sheathing (Per structural plans), 1/2" Air gap, 5/8" Gyp. bd., 2x6 Wood studs, Batt insulation, 1 layer of 5/8" gyp. bd. with paint finish. A. Metal Panel Wall System, 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with paint finish (both sides). B. Metal Panel Wall System, 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with paint finish (exterior side). C. Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with paint finish (both sides). D. Add 2x4 Wood Stud Furring, 5/8" Gyp. bd. (interior).
	2. Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, Sheathing, 2x6 Wood Studs, Batt insulation, 5/8" Gyp. bd. with paint finish. A. Metal Panel Wall System ILO Western 1-Kote stucco.
	3. 5/8" Gyp. bd. with paint finish, 2x4 Wood Studs, 5/8" gyp. bd. with paint finish. A. Omit 5/8" Gyp. bd with paint finish (exterior side). B. Add 1/2" Sheathing per structural. C. Add batt insulation.
	4. 5/8" Gyp. bd. with paint finish, 2x6 Wood Studs, 5/8" gyp. bd. with paint finish. A. Add 1/2" Sheathing per structural. B. Omit 5/8" Gyp. bd (interior side).
	5. Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, heating, 2x6 Wood Studs, Batt insulation, 5/8" Gyp. bd., 1" air gap, 5/8" Gyp. Bd., 2x6 Wood Studs, Sheathing, 1" Rigid Insulation, Western 1-Kote stucco (IAPMO UES ER-382)

CONSTRUCTION DOCUMENTS

Revision Schedule		
No.	Date	Description
1	05.21.2019	OWNER UPDATES
4	08.13.2019	CITY COMMENTS - SECOND REVIEW

RCP LEGEND

	Surface Mounted Light BOD Phillips Lighttaller SlimSurface 57R White finish
	Pendant Light BOD Leaf Lamp Pendant 130 Green Furniture Concept
	3 Pendant Lights BOD Phillips UnicOne Pendant Micro
	Ceiling Mounted Fan/ w Light BOD Hampton Bay Rockport 52" LED Brushed Nickel Ceiling Fan with Light
	Surface Mounted Strip Light BOD Phillips SlimBalance
	Vanity Light BOD Phillips VL Vanity Light
	Exhaust Diffuser
	Return Diffuser
	Supply Diffuser
	Range Exhaust
	Solatube with Daylight Dimmer Curb Mount JustFrost
	Outlet placed at 4'-0" A.F.F. for TV

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF ARCHITECTURAL RESOURCE TEAM, INC. THIS DRAWING MAY NOT BE REPRODUCED, OR REPRODUCTIONS HEREOF USED, WITHOUT WRITTEN PERMISSION

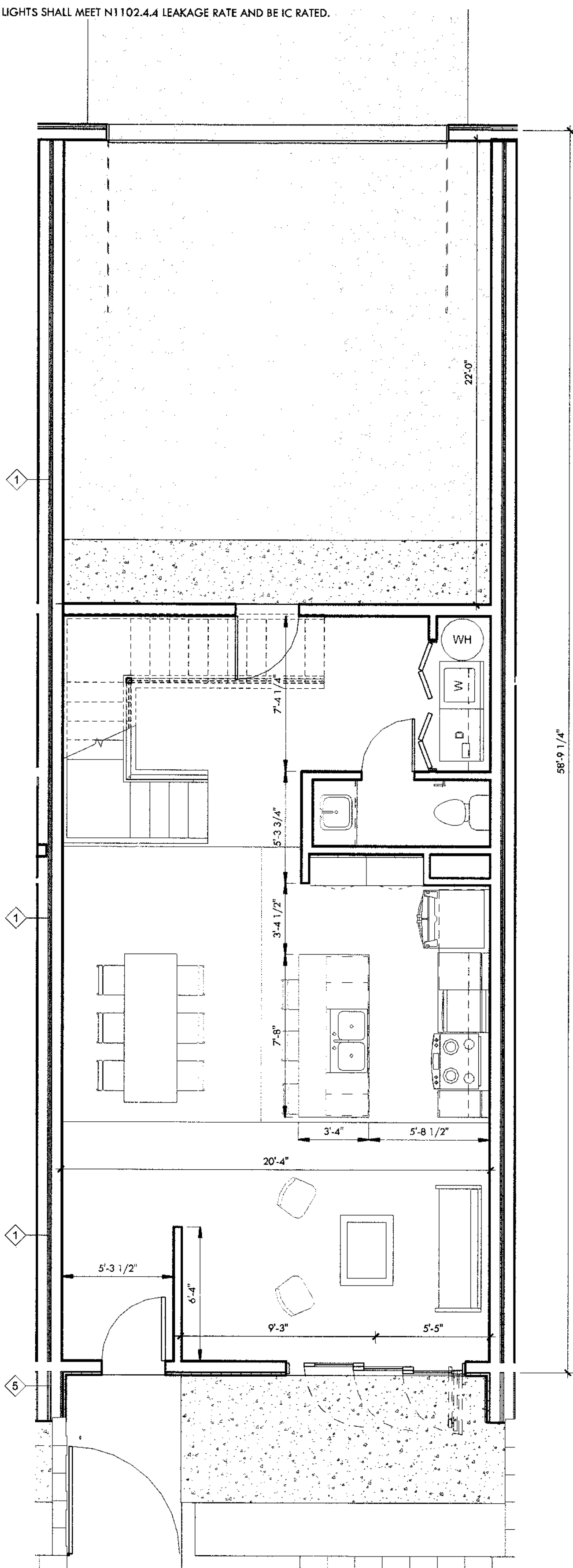
CITY OF PHOENIX
Planning and Development Department
By: ROBERT BEANVOLE
2019
This set of drawings has been prepared for PHOENIX CONSTRUCTION CODES and is for reference only. It is not to be used for any other purpose. Each review shall not be a final review. The City of Phoenix shall not be responsible for any errors or omissions in this set of drawings. Each review shall be a final review.

CONA, U.S.
Expires 09/30/2019
Unit Second Floor Plans

DRAWING NO.

RCP PLAN NOTES

1. GYP. BD. CEILINGS IN LIVING SPACES TO BE ATTACHED TO BOTTOM OF WOOD TRUSS, UNLESS OTHERWISE NOTED. COORDINATE WITH STRUCTURAL TO GET MAXIMUM CEILING HEIGHT.
2. NON ABSORBENT (MOISTURE RESISTANT) DENSGLAS OR EQUAL TO BE PROVIDED IN ALL WET AREAS.
3. VERIFY LOCATION OF ALL MECHANICAL VENTS WITH MECHANICAL DRAWINGS.
4. ALL PLANS REPRESENT A TYPICAL UNIT LAYOUT.
5. GYPSUM BOARD FINISH LEVELS: FINISH PANELS TO LEVELS INDICATED BELOW AND ACCORDING TO ASTM C 840; LEVEL 4; AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW UNLESS OTHERWISE INDICATED.
6. COMPARE REFLECTED CEILING PLANS WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN AND EXHAUST PLANS. REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
7. COORDINATE GYPSUM BOARD FURR DOWN HEIGHTS WITH FULL HEIGHT CABINETS AND INTERIOR ELEVATIONS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
8. ACCESS PANELS SHALL BE FIRE RATED EQUAL TO THE RATING OF THE CEILING IN WHICH THEY OCCUR.
9. RECESSED LIGHTS SHALL MEET N1102.4.4 LEAKAGE RATE AND BE IC RATED.

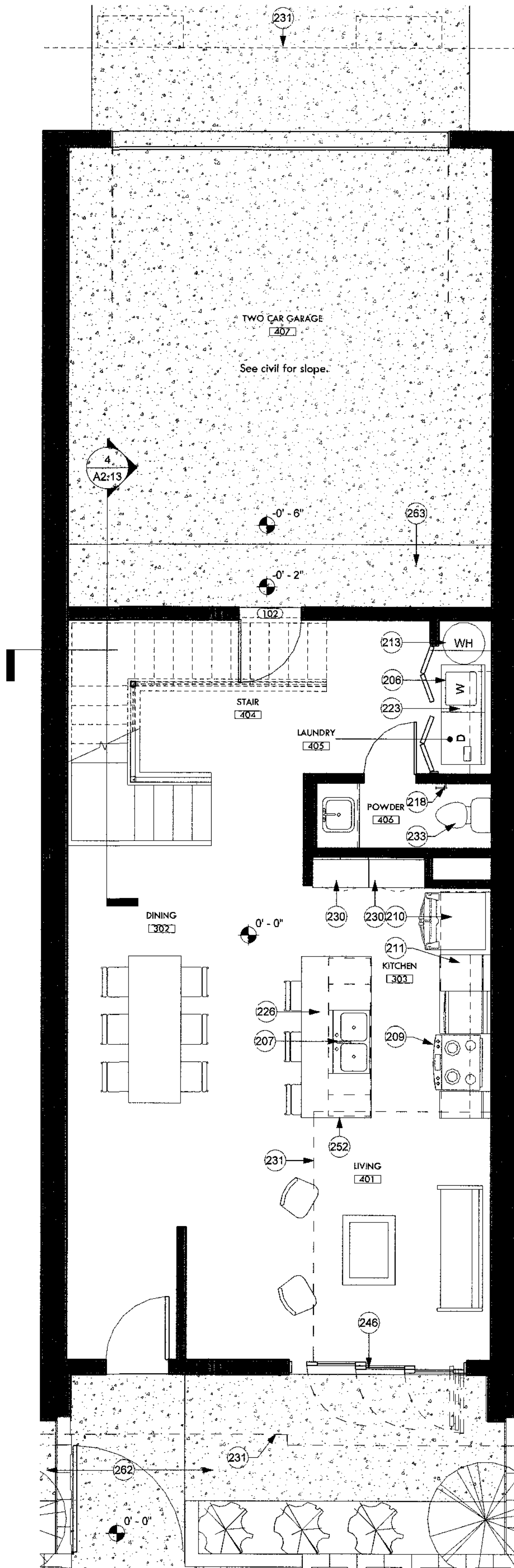


01 - Unit Dimensioned Plan - No Trash Alcove

1/4" = 1'-0"

FLOOR PLAN NOTES

1. COORDINATE WITH SITE PLAN FOR OVERALL UNIT DIMENSIONS.
2. ALL WET SPACES TO PROVIDE MOISTURE RESISTANT SURFACE, DENSGLAS OR EQUAL.
3. INTERIOR FINISH SURFACE SHALL NOT BE INSTALLED PRIOR TO HAVING THE BUILDING WEATHER TIGHT.
4. INSULATION SHALL EXTEND TO DECK AT ALL EXTERIOR WALLS.
5. ALL SURFACES EXPOSED SHALL BE FINISHED AS SPECIFIED, STAINED, OR PAINTED.
6. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND SPECIAL SYSTEMS, PIPING, CONDUIT, EQUIPMENT, DUCT, WIRING, ETC. SHALL RUN CONCEALED BEHIND FINISHED SURFACES INCLUDING THOSE AREAS WHERE A CONCEALED INSTALLATION REQUIRES CUTTING AND PATCHING OF EXISTING SURFACES.
7. TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.
8. CONSTRUCTION DEBRIS SHALL BE REGULARLY REMOVED ON A CONTINUING BASIS. THE SITE SHALL BE MAINTAINED 'NEAT' IN APPEARANCE.
9. SEE PROJECT LEGEND FOR DIMENSION TYPES. TICKS ARE TO FACE OF STUD; ARROWS ARE TO FINISH FACE.
10. THE COMMON WALL SHARED BY TWO TOWNHOMES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, OR DUCTS OR VENTS, IN THE CAVITY OF THE COMMON WALL, PER IRC R302.2.2.



01 - Unit Ground Floor Plan - No Trash Alcove

1/4" = 1'-0"

KEYNOTES

206	1 1/4" hollow core 2 panel bi-fold flush door. Paint finish per architect. See door schedule.
207	Double 10" deep stainless steel sink with garbage disposal. BOD: Kohler Ballad under-mount double-equal kitchen sink, K-5691. See plumbing.
209	Slide in cook top range and oven with front mounted controls.
210	REF-1: Refrigerator w/ ice maker, Energystar rated. BOD: GE ENERGY STAR 25.3 Cu. Ft. Side-By-Side Refrigerator, GSE25GSHS.
211	Lower cabinets w/ quartz countertops and backsplash. Quartz BOD: Arizona Tile New Carrara Quartz.
213	Water heater. See plumbing.
218	Toilet paper holder, BOD Kohler Coralais K-13434-CP.
223	Closet w/ clothing rod and white melamine shelf. Paint clothing rod white.
226	Quartz countertop island with lower cabinets. Provide outlet receptacle. Quartz BOD: Arizona Tile New Carrara Quartz.
230	Built-in pantry casework.
231	Level 2 footprint above.
233	High-efficiency toilet. See plumbing.
246	3 panel aluminum triple slider glass door. BOD: Western Window Series 7950 Bi-Fold Door, dark bronze anodized. Tempered.
252	Waterfall edge. Carry same thickness countertop down edge of cabinetry to floor. See detail.
262	River rock. See landscape drawings.
263	4" Concrete car stop.
402	Floor assembly. See structural.

WALL TYPE LEGEND

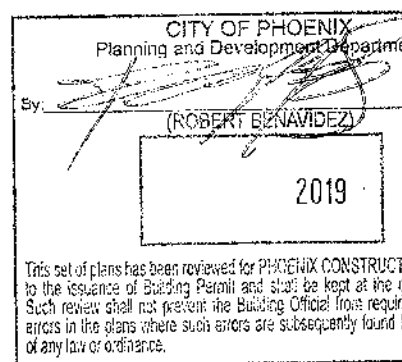
1.	1 layer of 5/8" Gyp. bd with paint finish, Batt insulation, 2x6 Wood Studs, 5/8" Gyp. bd., 1/2" Sheathing (Per structural plans), 1/2" Air gap, 5/8" Gyp. bd., 2x6 Wood studs, Batt insulation, 1 layer of 5/8" gyp. bd. with paint finish.
A.	Metal Panel Wall System, 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with paint finish (both sides).
B.	Metal Panel Wall System, 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with paint finish (exterior side).
C.	Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, Sheathing ILO 1 layer of 5/8" Gyp. bd with paint finish (both sides).
D.	Add 2x4 Wood Stud Furring, 5/8" Gyp. bd. (interior).
2.	Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, Sheathing, 2x6 Wood Studs, Batt insulation, 5/8" Gyp. bd. with paint finish.
A.	Metal Panel Wall System ILO Western 1-Kote stucco.
3.	5/8" Gyp. bd. with paint finish, 2x4 Wood Studs, 5/8" gyp. bd. with paint finish.
A.	Omit 5/8" Gyp. bd with paint finish (exterior side).
B.	Add 1/2" Sheathing per structural.
C.	Add batt insulation.
4.	5/8" Gyp. bd. with paint finish, 2x6 Wood Studs, 5/8" gyp. bd. with paint finish.
A.	Add 1/2" Sheathing per structural.
B.	Omit 5/8" Gyp. bd (interior side).
5.	Western 1-Kote stucco (IAPMO UES ER-382), 1" Rigid Insulation, Weather Barrier, heathing, 2x6 Wood Studs, Batt insulation, 5/8" Gyp. bd., 1" air gap, 5/8" Gyp. Bd., 2x6 Wood Studs, Sheathing, 1" Rigid Insulation, Western 1-Kote stucco (IAPMO UES ER-382)

CONSTRUCTION DOCUMENTS

Revision Schedule		
No.	Date	Description
4	08.13.2019	CITY COMMENTS - SECOND REVIEW

RCP LEGEND

	Surface Mounted Light BOD Phillips Lightolier SlimSurface S7R White finish
	Pendant Light BOD Leaf Lamp Pendant 130 Green Furniture Concept
	3 Pendant Lights BOD Phillips UnicOne Pendant Micro
	Ceiling Mounted Fan/ w Light BOD Hampton Bay Rockport 52" LED Brushed Nickel Ceiling Fan with Light
	Surface Mounted Strip Light BOD Phillips SlimBalance
	Vanity Light BOD Phillips VL Vanity Light
	Exhaust Diffuser
	Return Diffuser
	Supply Diffuser
	Range Exhaust
	Solatube with Daylight Dimmer Curb Mount JustFrost
	Outlet placed at 4'-0" A.F.F. for TV

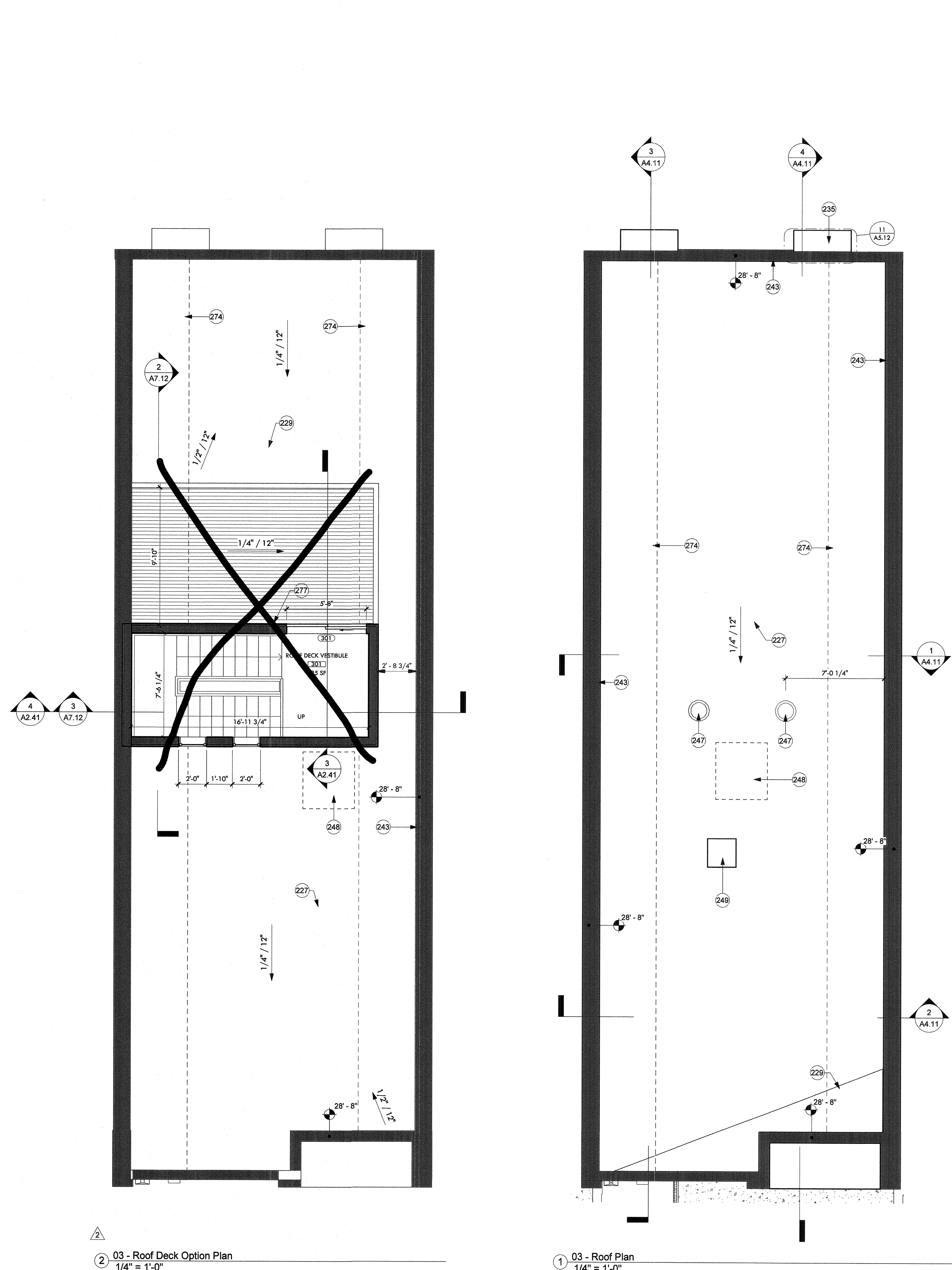


Expires 09/30/2019

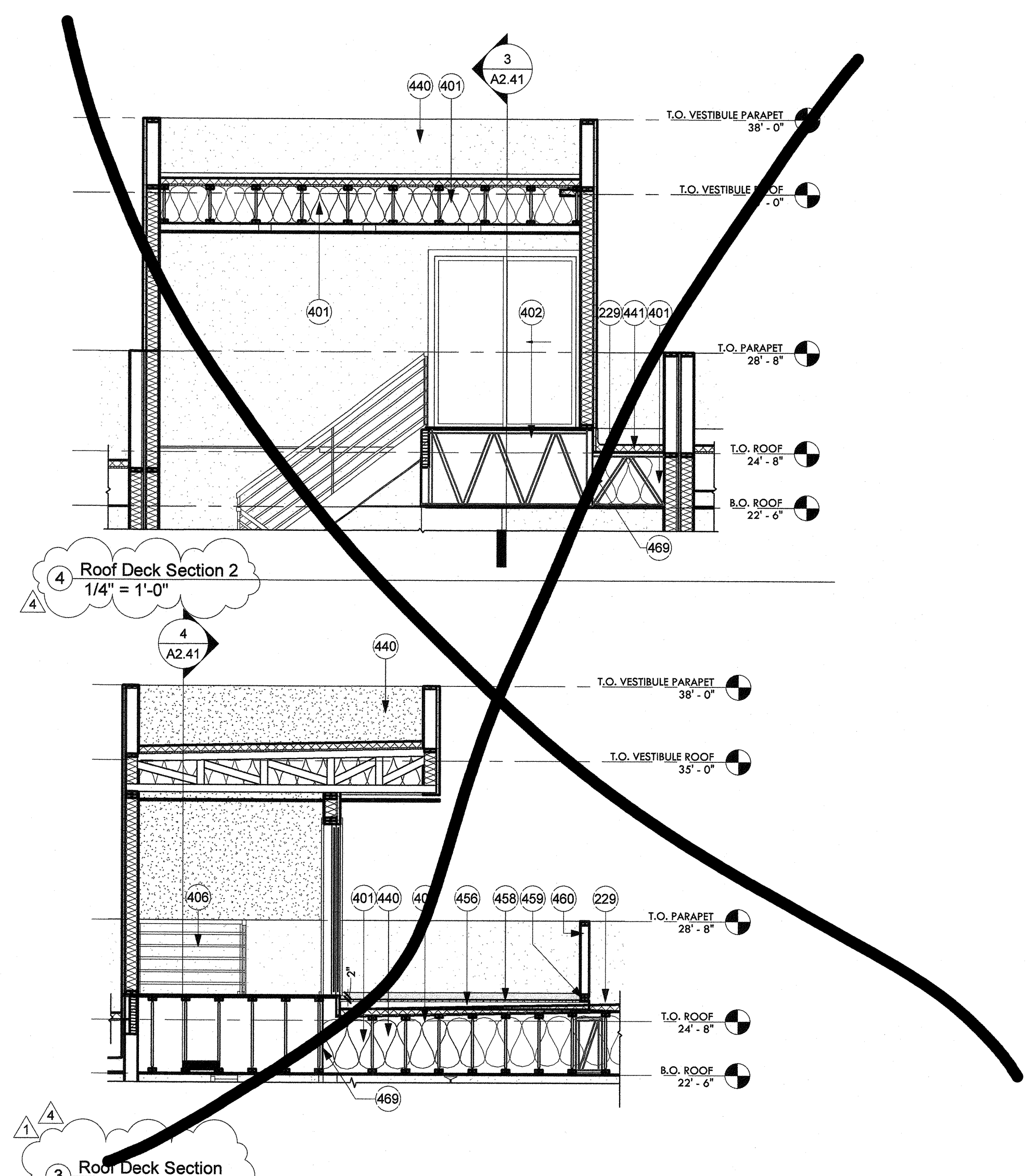
Unit Ground Floor Plans - No Trash Alcove

DRAWING NO.

A2.13



KEYNOTES	
227	Low sloped wood truss with foam roof. See details. See structural drawings. ICC No. 25-5979 or equivalent.
229	Built-up roof cricket.
235	1/4" steel shade fin, typ. See details.
243	Parapet cap, paint to match adjacent finish.
247	Skylight solar tube ILO Roof Deck Option. BOD: Solatube 160 DS eChoice with Daylight Dimmer Curb Mount JustFrost.
248	Mechanical unit. See mechanical and structural drawings.
249	Roof hatch. See details.
274	Fire resistant sheathing at roof deck 4'-0" on each side of parapet. No penetrations.
277	Hose bibb. See plumbing drawings.
401	Roof assembly. See structural.
402	Floor assembly. See structural.
406	HSS railing system with wood handrail. See details.
440	Parapet, see details.
441	Foam roof. ICC No. 25-5979 or equivalent.
456	Treated 2x deck joist with moisture resistant barrier at top of joist.
458	Raised composite decking, BOD Trex Select Woodland Brown.
459	Wrap moisture barrier to protect underside of wall, start and stop inbetween joists.
460	3'-0" wood framed wall bolted to roof deck joists, stucco finish.
469	Blocking panel.



ROOF SCUPPER SIZING CALCS

1. REFER TO 2018 INTERNATIONAL PLUMBING CODE FOR FINAL VERIFICATION OF ALL SIZING CALCS.

2. INSTALL TO MANUFACTURER'S SPEC'S AND IN ACCORDANCE TO ALL APPLICABLE 2018 PLUMBING CODES.

3. **CALCULATION**
ROOF AREA: 1,280 SF
CONVERSION FOR MIN. AREA = 2,500 / 4 * 3.75 = 2,344 SQ FT
PER TABLE 1108.2 A MIN. 4" DIAMETER DRAIN ON 1/4" PER FOOT SLOPE IS REQUIRED.
PROVIDE SCUPPER WITH OVERFLOW OPENING 4" HIGH BY 4" WIDE MIN. LOCATED 2' MAX ABOVE ROOF DRAIN.

ROOF PLAN NOTES

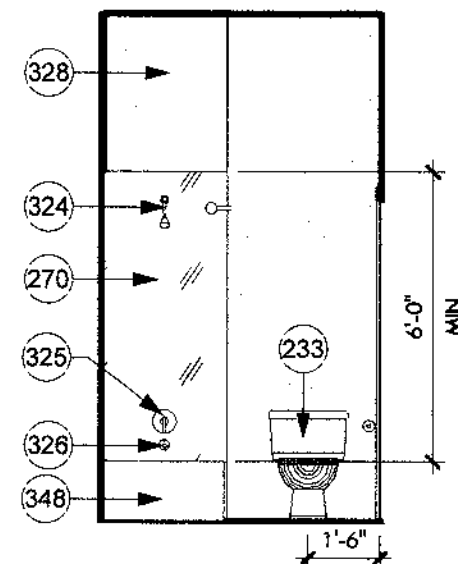
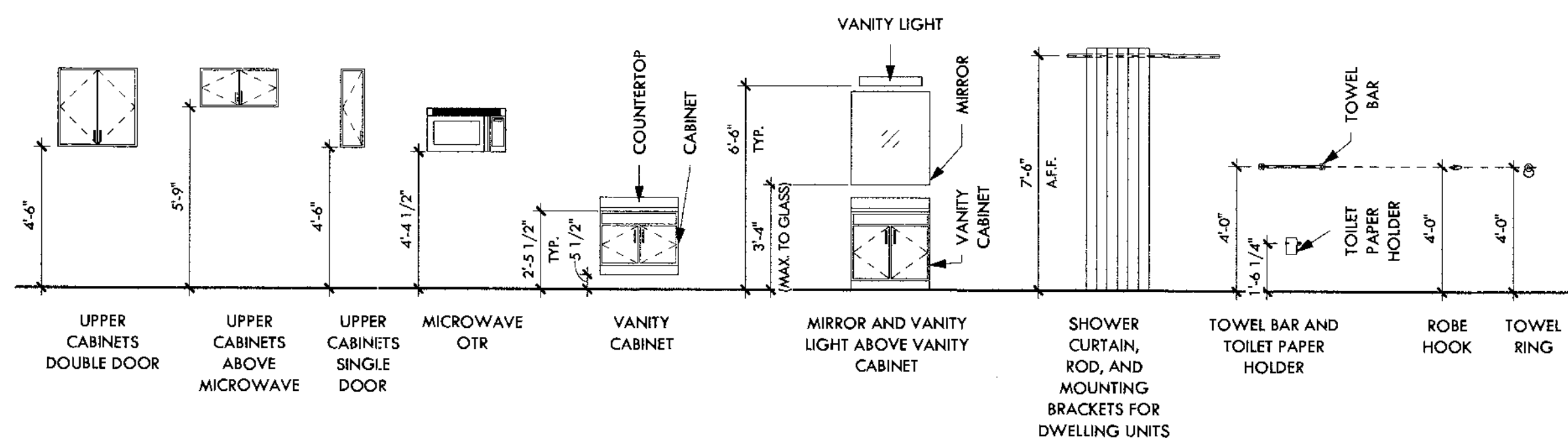
- ALL PLANS REPRESENT A TYPICAL UNIT LAYOUT.
- ACCESS PANELS SHALL BE FIRE RATED EQUAL TO THE RATING OF THE CEILING IN WHICH THEY OCCUR.
- WEATHER LIMITATIONS: PROCEED WITH INSTALLATION ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT ROOFING SYSTEM TO BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
- COMPLY WITH ROOFING SYSTEM AND INSULATION MANUFACTURER'S WRITTEN INSTRUCTION FOR INSTALLING ROOF INSULATION. ICC No. 25-5979 OR EQUIVALENT).
- FINAL ROOF INSPECTION: ARRANGE FOR ROOFING SYSTEM MANUFACTURER'S TECHNICAL PERSONNEL TO INSPECT ROOFING INSTALLATION ON COMPLETION.
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL FOR LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FAN AND OTHER ITEMS ON THE ROOF SURFACE.
- ROOF HATCH TO BE THERMALLY BROKEN AND INSULATED TO MATCH ROOF R-VALUE.

CONSTRUCTION DOCUMENTS

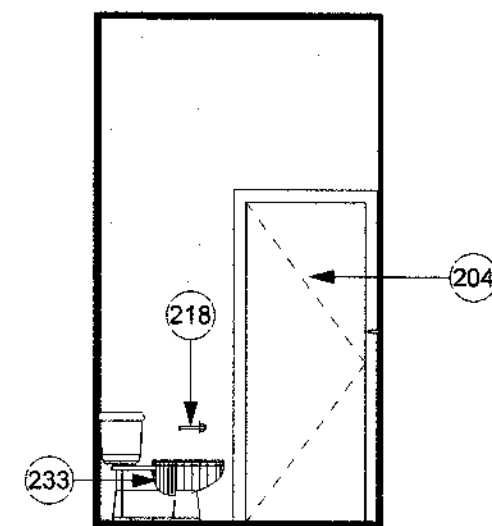
Revision Schedule		
No.	Date	Description
1	05.21.2019	OWNER UPDATES
2	05.21.2019	CITY COMMENTS
4	08.13.2019	CITY COMMENTS - SECOND REVIEW

CITY OF PHOENIX
Planning and Development Department
(ROBERTS/ANDERZ)
2019

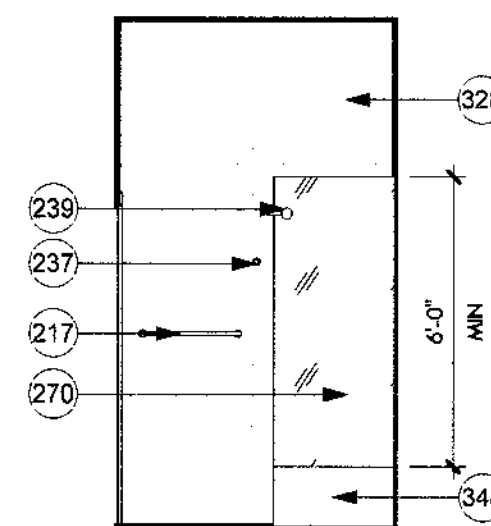
This set of plans has been reviewed by PHOENIX CONSTRUCTION CODE prior to the issuance of Building Permit and shall be kept at the construction site. Such review shall not prevent the Building Official from requiring correction of any error in the plans where such errors are subsequently found to be in violation of any law or ordinance.



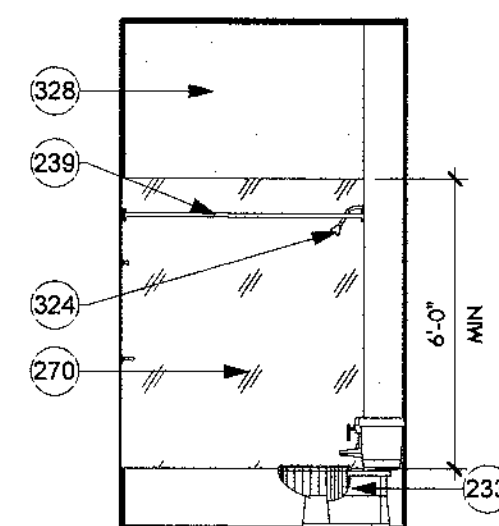
12 209 - Toilet Elevation - A
1/4" = 1'-0"



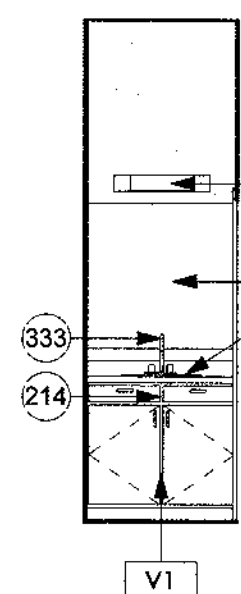
③ 209 - Toilet Elevation - B
1/4" = 1'-0"



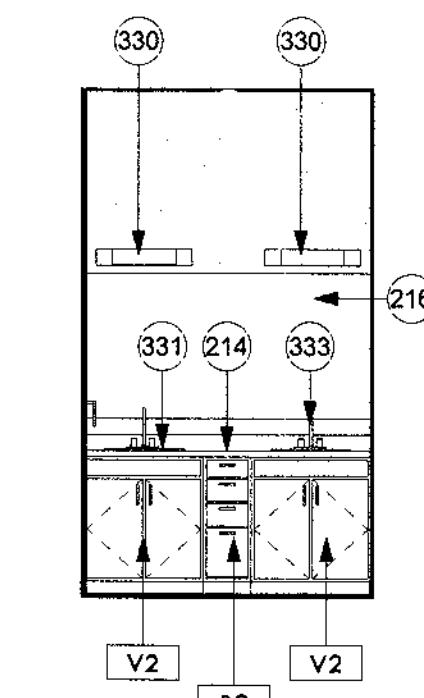
6 209 - Toilet Elevation - C
1/4" = 1'-0"



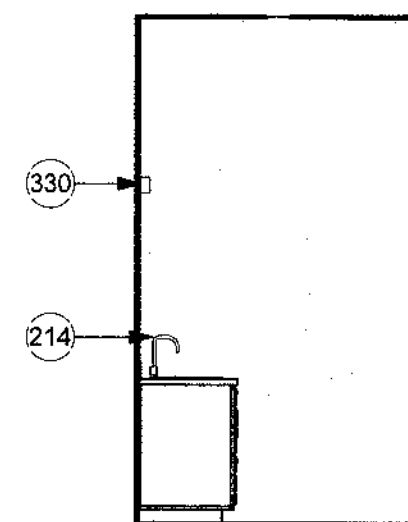
9 209 - Toilet Elevation - D
1/4" = 1'-0"



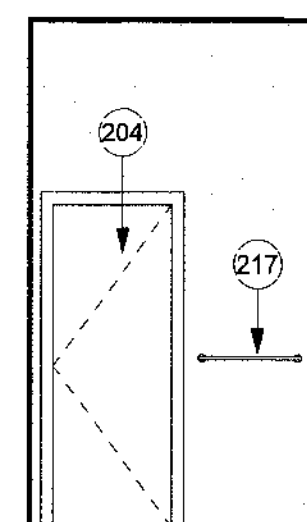
② 106 - Powder Elevation
1/4" = 1'-0"



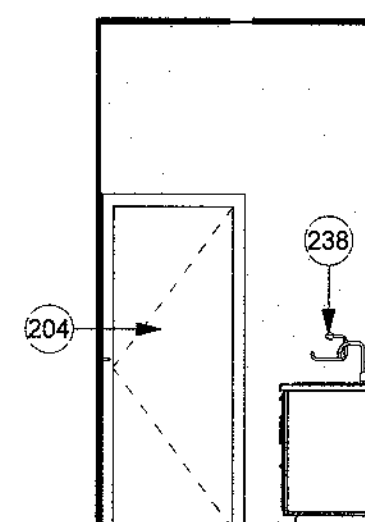
10 208 - Bathroom Elevation - A
1/4" = 1'-0"



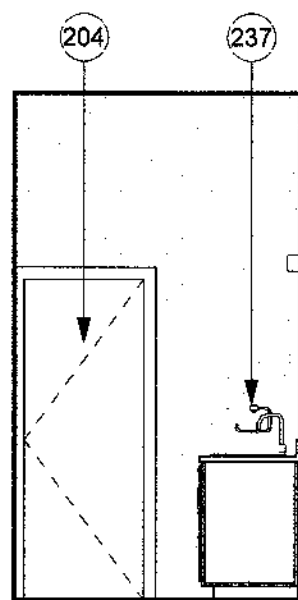
13 208 - Bathroom Elevation - B
1/4" = 1'-0"



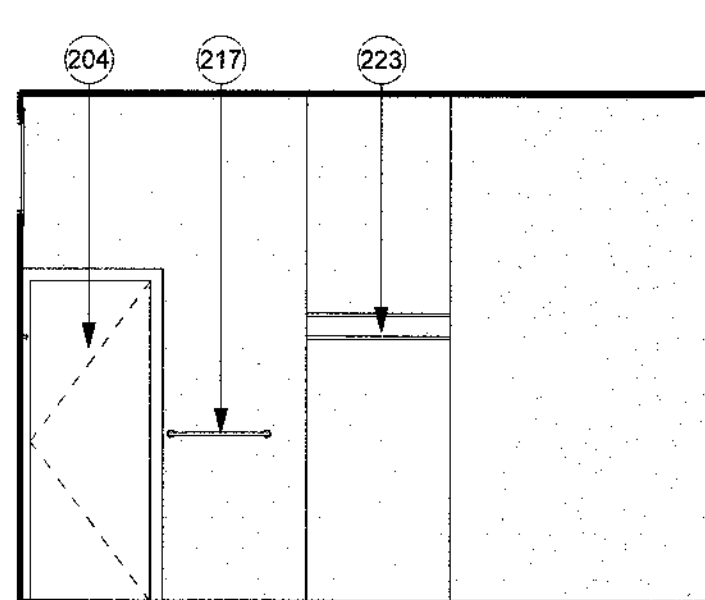
15 208 - Bathroom Elevation - C
1/4" = 1'-0"



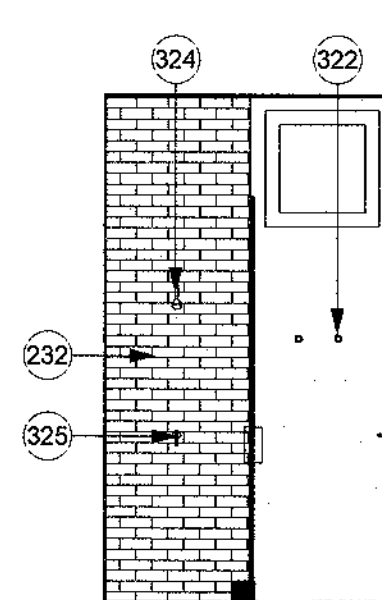
16 208 - Bathroom Elevation - D
1/4" = 1'-0"



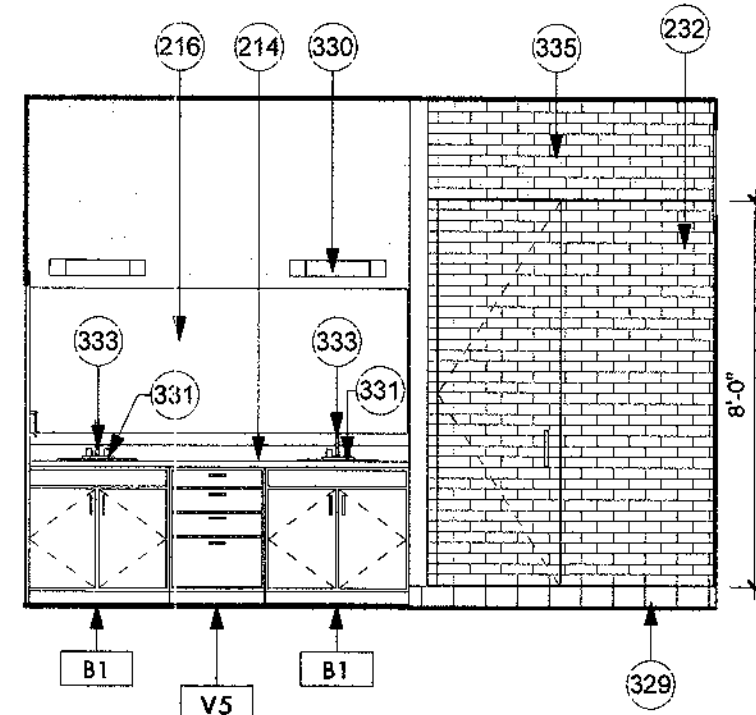
14 206 - Master Bathroom Elevation - D
1/4" = 1'-0"



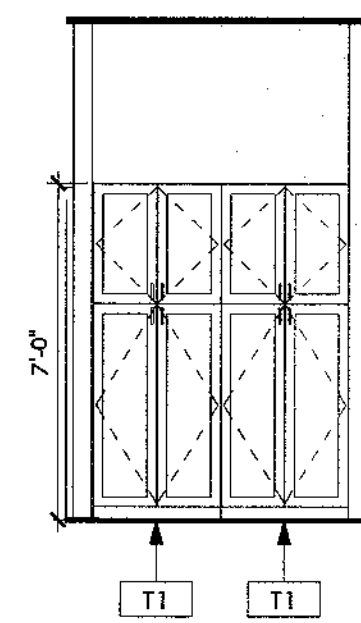
11 206 - Master Bathroom Elevation - C
1/4" = 1'-0"



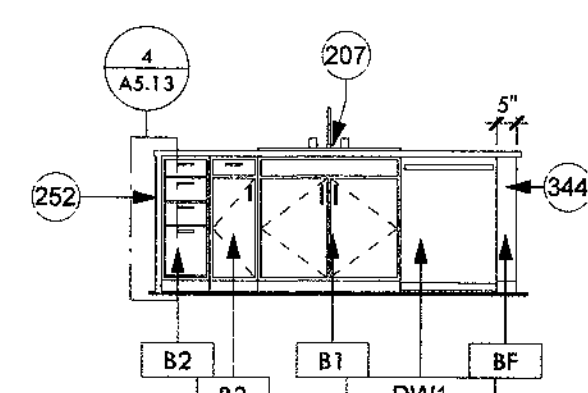
8 206 - Master Bathroom Elevation - B
1/4" = 1'-0"



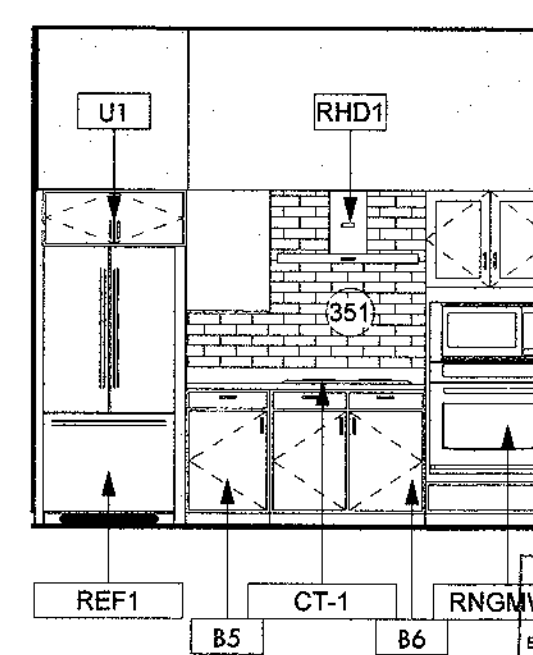
5 206 - Master Bathroom Elevation - A
1/4" = 1'-0"



7 102 - Pantry Elevation
1/4" = 1'-0"



4 102 - Kitchen Island Elevation
1/4" = 1' 0"



1 102 - Kitchen Elevation
1/4" = 1' 0"

KEYNOTES

204	1 1/4" hollow core door. Paint finish per architect. See door schedule.
207	Double 10" deep stainless steel sink with garbage disposal. BOD: Kohler Brafed under-mount double-equal kitchen sink, K-3691. See plumbing.
214	Sink cabinet with top mounted vanity sink. Provide Quartz countertop and backplash. Quartz BOD: Arizona Tile New Carrara Quartz.
216	Provide frameless tempered glass mirror 36" high to run the length of vanity.
217	Towel bar, provide 2x12 backing.
218	Toilet paper holder, BOD Kohler Caratals K-13434-CP.
223	Closet w/ clothing rod and white melamine shelf. Paint clothing rod white.
232	Tile shower with glass wall and glass door, Provide Kerdil board or equivalent backing. Rake tile to area drain. BOD: Schluter Kerdi Shower Kit.
233	High-efficiency toilet. See plumbing.
237	Towel hook.
238	Hand towel holder.
239	Install curved shower rod.
252	Waterfall edge. Carry same thickness countertop down edge of cabinetry to floor. See detail.
270	Shower tub with shower head and tub nozzle. BOD Kohler Choreograph wall panels, Villager 60"x30" tub, & Caratals Rite-Temp bath and shower valve 7/8".
322	Corten steel unit front-entry gate. Unit numbers to be cut out. 6'-3" H x 5'-9" W, typical. DOUBLE CHECK DIMS.
324	Showerhead, 2.0-gpm max.
325	Water temp control with lever handle.
326	Tub slip-fit spout.
328	Moisture resistant board, Densglass or equal, at all wet areas.
329	Shower curb with tile finish. BOD Schluter Kerdi Board SC Curb.
330	Vanity light, see RCP Legend.
331	Under mount bathroom sink basin. BOD Kohler Caxton Oval white.
332	Sink faucet. BOD Kohler Refubia widespread chrome sink faucet brushed nickel.
335	Full height tile at shower area. See finish schedule.
344	End filler casework piece. Provide electrical outlet on adjacent side of casework.
348	Alcove Tub.
351	Tile backplash from top of countertop to top of upper cabinets.

CONSTRUCTION DOCUMENTS

Revision Schedule		
No.	Date	Description

אָרטיקל 111 / 112 / 113

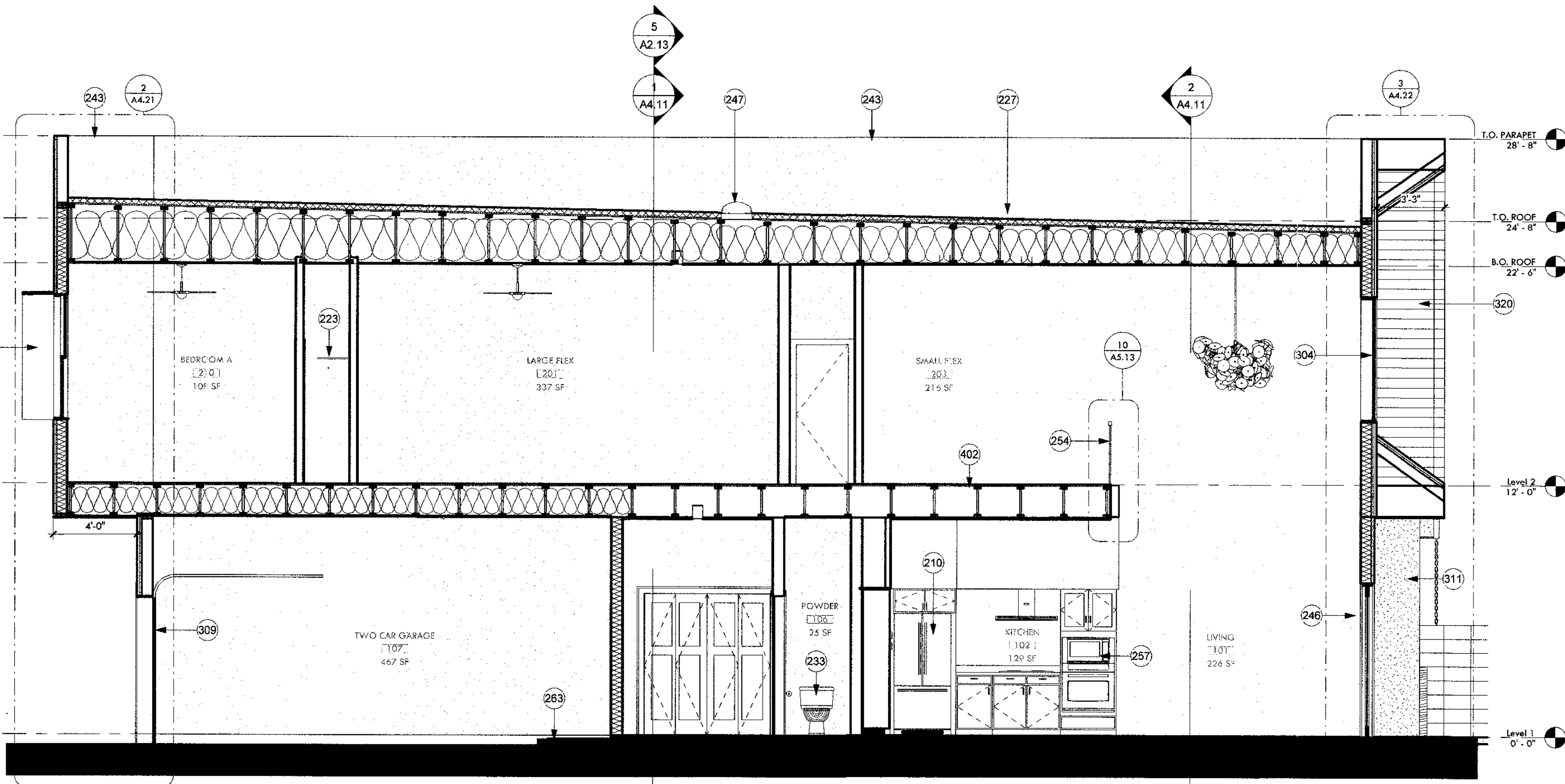
Interior Elevations

DRAWING No. _____

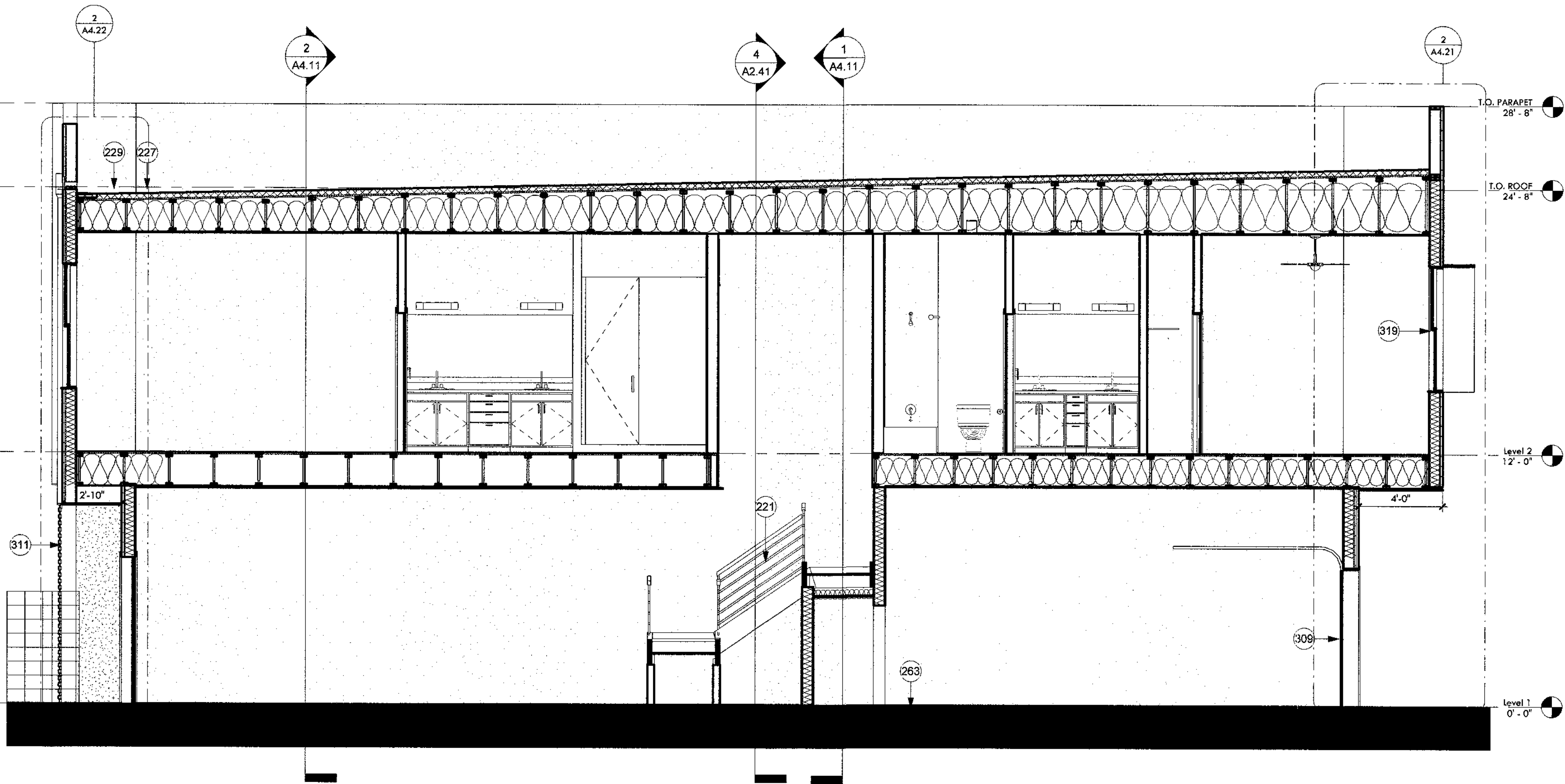
This set of plans has been reviewed for PHOENIX CONSTRUCTION CODE compliance by the issuance of Building Permit and shall be kept at the construction site. Such review shall not prevent the Building Official from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law or ordinance.

A3.14

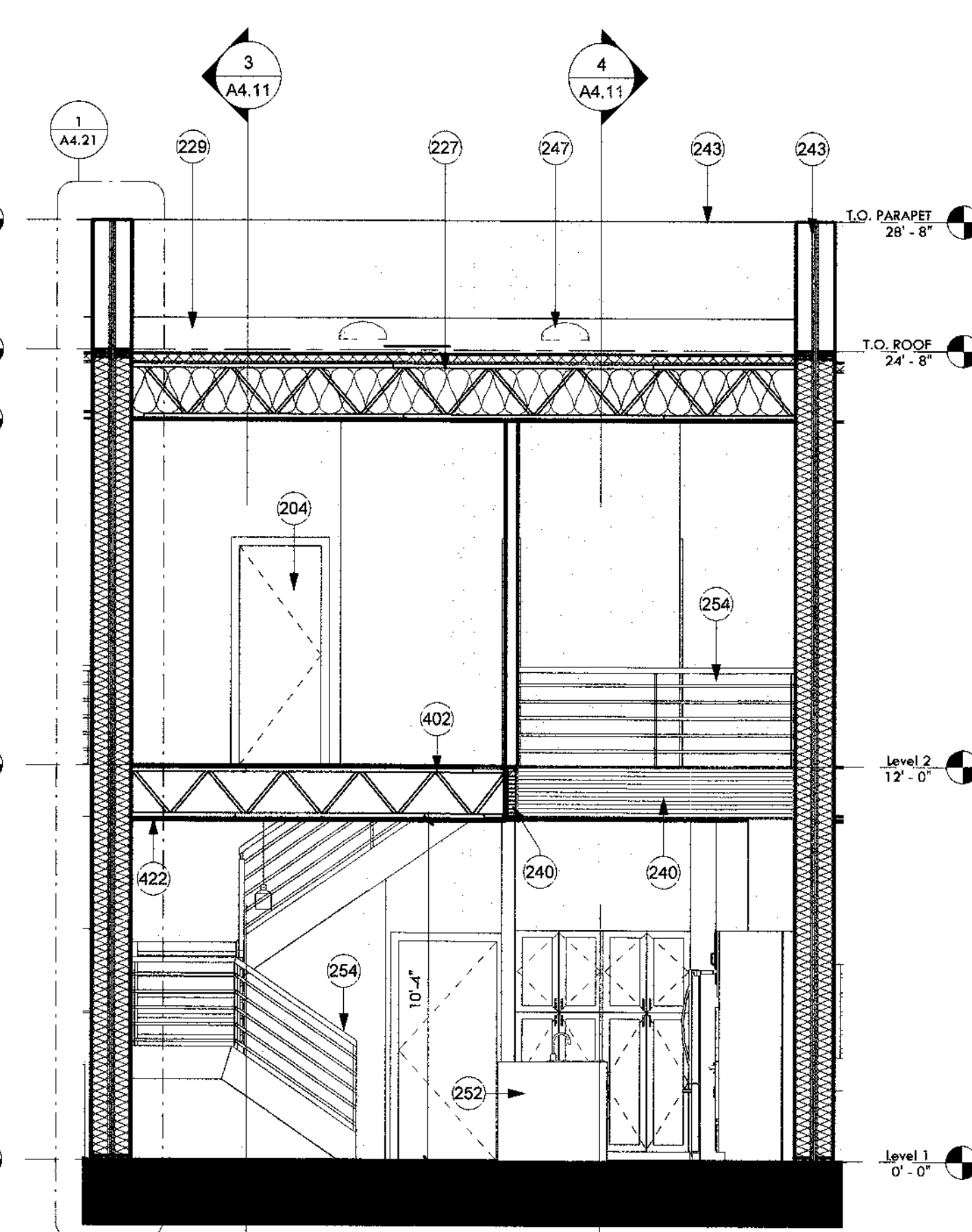
8/12/2019 4:54:57 PM
IF THIS IS NOT 24"x36", IT IS A REDUCED PRINT - SCALE ACCORDINGLY
PLEASM RECYCLE



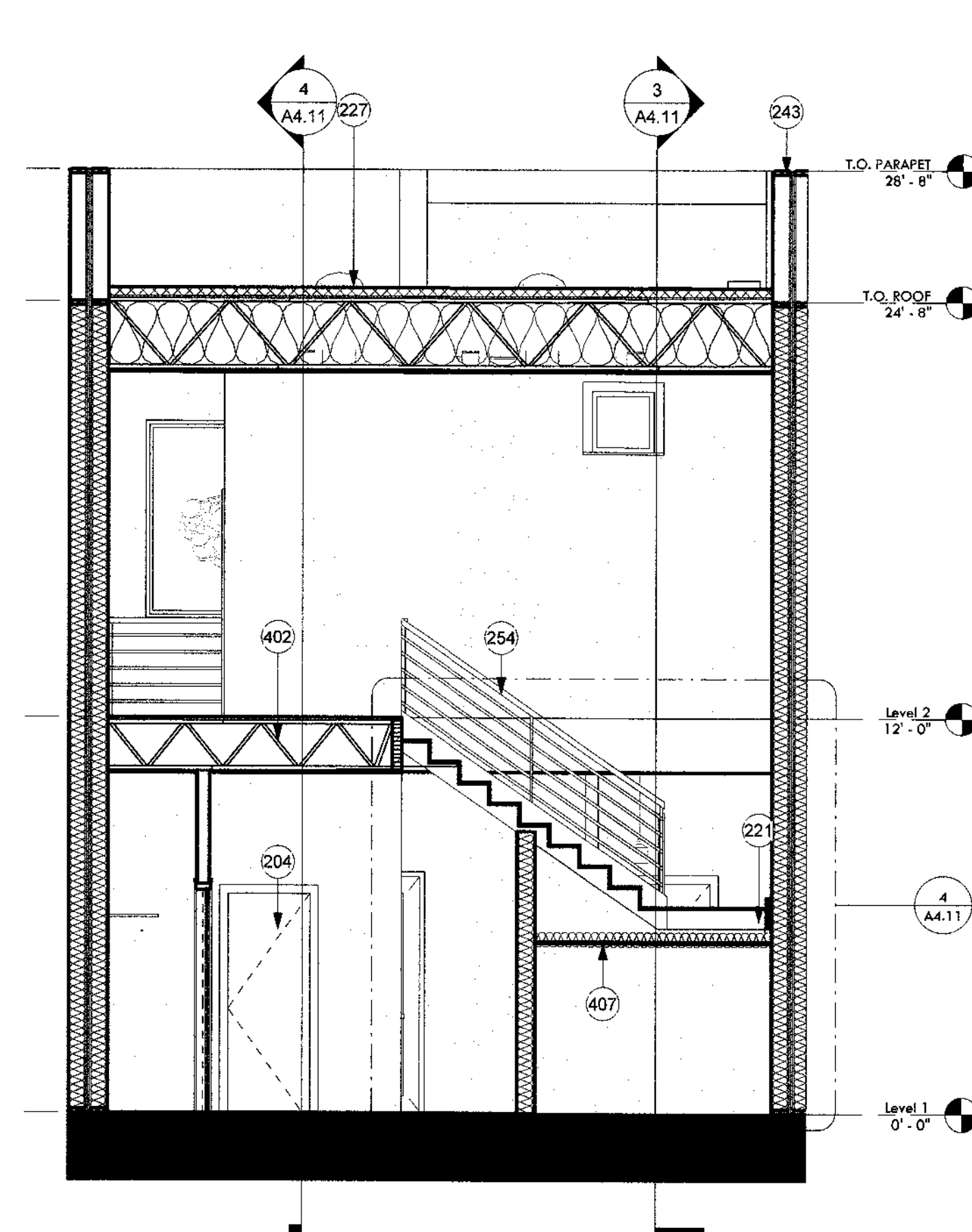
4 North-South - 2
1/4" = 1'-0"



3 North-South
1/4" = 1'-0"



2 East-West - 1
1/4" = 1'-0"



1 East-West - 2
1/4" = 1'-0"

KEYNOTES

204	1 1/4" hollow core door. Paint finish per architect. See door schedule.
210	REF-1: Refrigerator w/ ice maker, Energystar rated. BOD: GE ENERGY STAR 25.3 Cu. Ft. Side-By-Side Refrigerator, GSE25GSHSS.
221	Wood framed stair with LVT flooring. See vertical circulation and structural drawings.
223	Closet w/ clothing rod and white melamine shelf. Paint clothing rod white.
227	Low sloped wood truss with foam roof. See details. See structural drawings. ICC No. 25-5979 or equivalent.
229	Built-up roof cricket.
233	High-efficiency toilet. See plumbing.
235	1/4" steel shade fin, typ. See details.
240	Exposed glulam beam, architectural grade. Wrap and protect during construction. See structural.
243	Parapet cap, paint to match adjacent finish.
246	3 panel aluminum triple slider glass door. BOD: Western Window Series 7950 Bi-Fold Door, dark bronze anodized. Tempered.
247	Skylight solar tube ILO Roof Deck Option. BOD: Solatube 160 DS eChoice with Daylight Dimmer Curb Mount JustFrost.
252	Waterfall edge. Carry same thickness countertop down edge of cabinetry to floor. See detail.
254	42" high 1/2" HSS steel railing with steel posts and wood handrail. See details.
257	RNGMW-1: Combo stacked microwave and oven. BOD: GE 30" Built-in combination microwave/thermal wall oven, JT3600SHSS.
263	4" Concrete car stop.
304	Low-E double glazed fixed, 2018 IECC compliant, dark bronze exterior finish. See window schedule.
309	Garage door, paint to match spartan bronze metal panel.
311	Shuco party wall.
319	Scupper and downspout with rain chain. Paint finish per architect.
320	Morin Matrix Series metal panel. See Overall Building Elevations for panel color.
402	Floor assembly. See structural.
407	Gyp. bd. ceiling attached to bottom of stair.
422	Gyp. bd. ceiling attached to bottom of structure, paint finish. See RCP.
424	Pendant light. BOD: Silo Trio.

CONSTRUCTION DOCUMENTS

Revision Schedule		
No.	Date	Description

CITY OF PHOENIX
Planning and Development Department
By: *[Signature]*
2019
This set of drawings has been reviewed for compliance with the CITY OF PHOENIX CONSTRUCTION CODE and the rules and regulations of the Arizona Department of Transportation. The City of Phoenix and its departments are not responsible for the construction of the project. The contractor is responsible for obtaining all necessary permits and for complying with all applicable laws and regulations.

Unit Sections

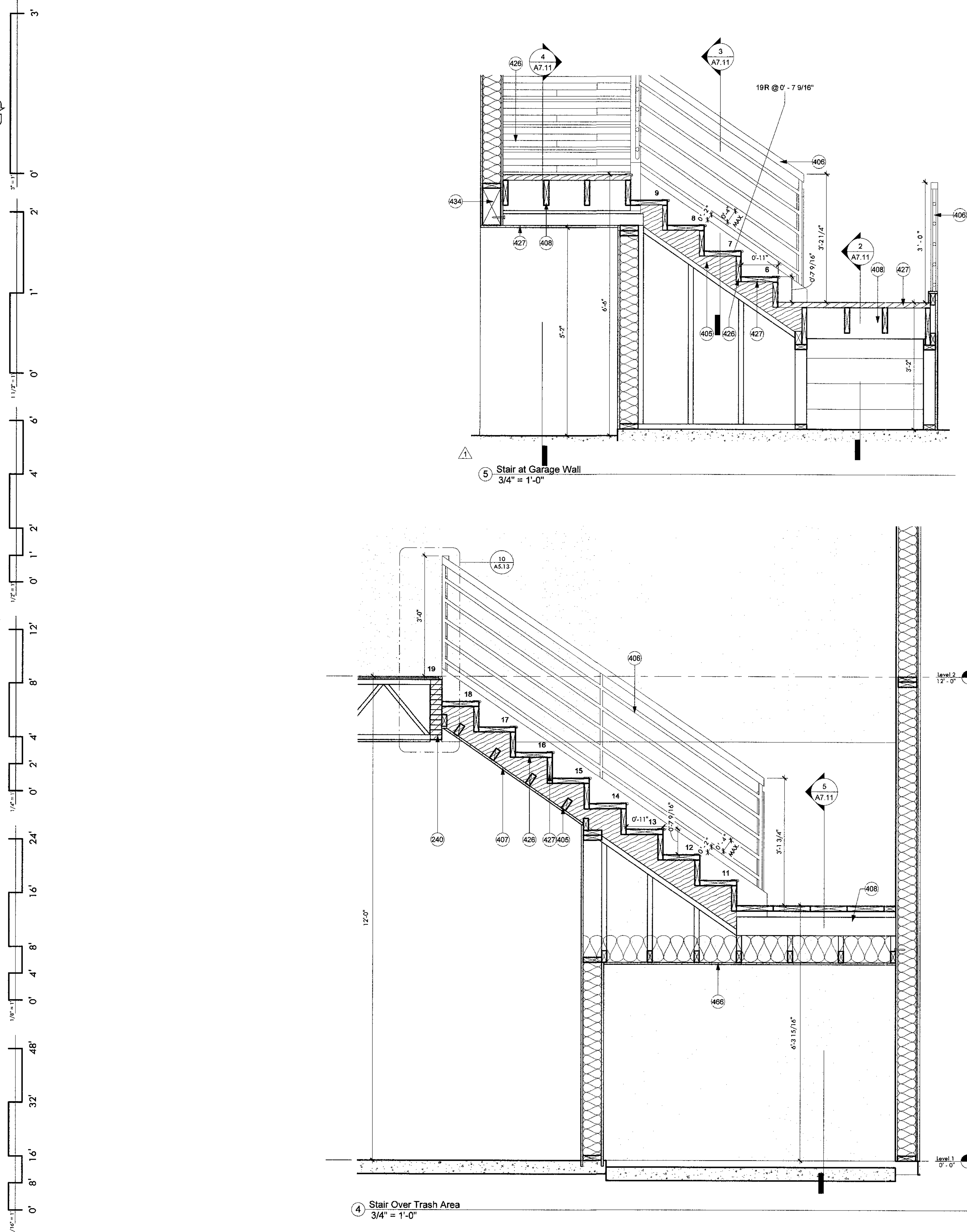
DRAWING No.

A4.11

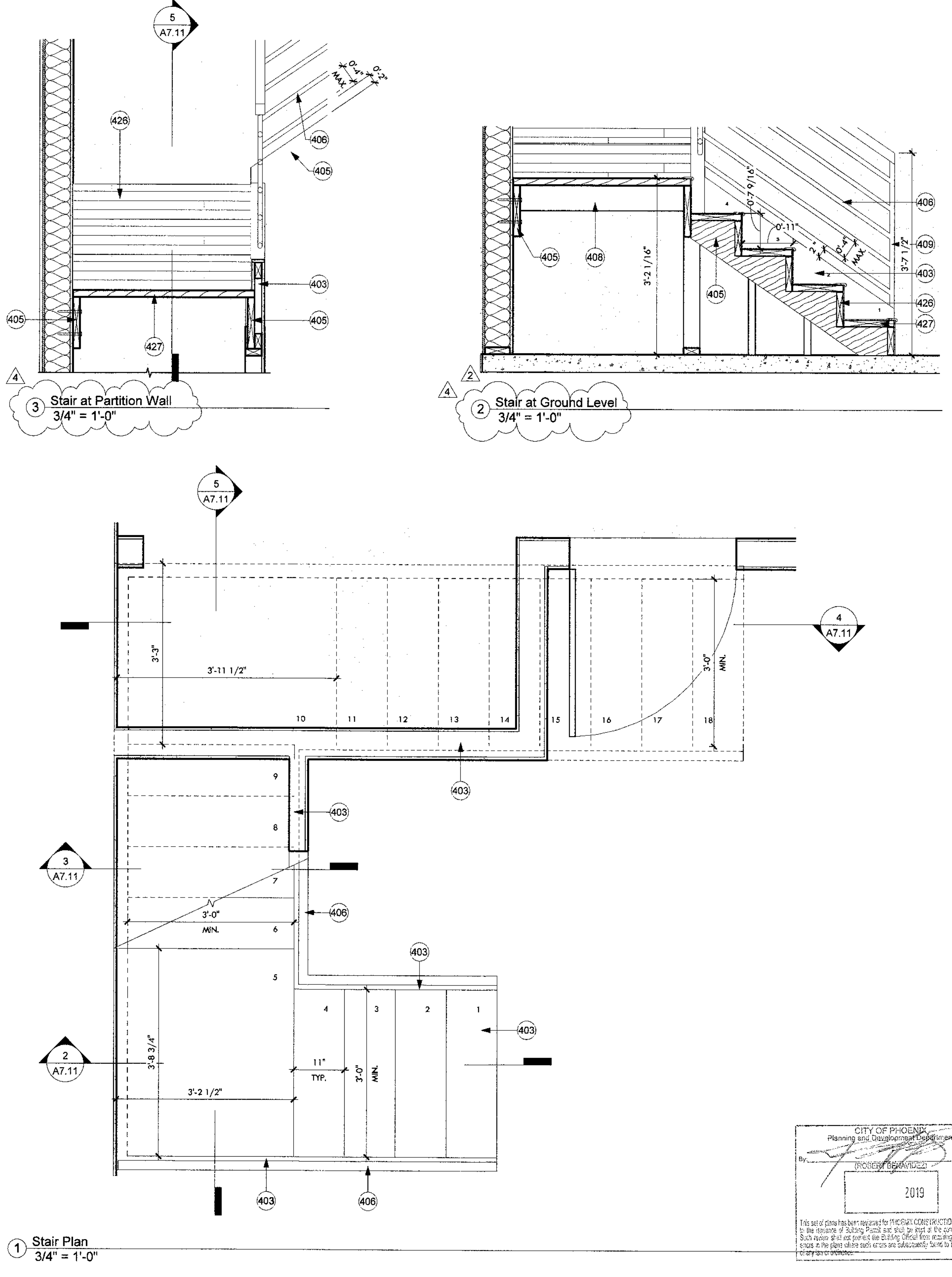


IF THIS IS NOT 24"x36", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

8/12/2019 4:56:13 PM



KEYNOTES	
240	Exposed glulam beam, architectural grade. Wrap and protect during construction. See structural.
403	Gyp. bd. finish at stair stringer flush with wall below. Paint finish. No baseboard.
405	2x wood stringer per structural. Ripped top to fit under stair treads.
406	HSS railing system with wood handrail. See details.
407	Gyp. bd. ceiling attached to bottom of stair.
408	2x joist at landing per structural.
409	HSS round post for railing. See details. Dark bronze finish.
426	2x wood riser. Finish with LVT floor per finish schedule.
427	2x wood tread. Finish with LVT floor and nosing, see finish schedule.
434	Header per structural.
466	Gyp. bd. with paint finish.



CONSTRUCTION DOCUMENTS

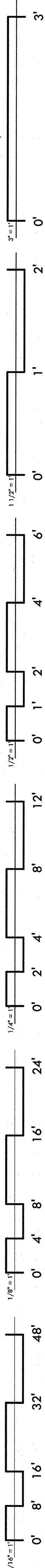
Revision Schedule		
No.	Date	Description
1	05.21.2019	OWNER UPDATES
2	05.21.2019	CITY COMMENTS
4	08.13.2019	CITY COMMENTS - SECOND REVIEW

CITY OF PHOENIX
Planning and Development Department
By: [Signature]
2019

This set of plans has been prepared for the CITY OF PHOENIX and is not to be used for any other project without the written consent of the City of Phoenix. The City of Phoenix is not responsible for any errors or omissions in these plans.

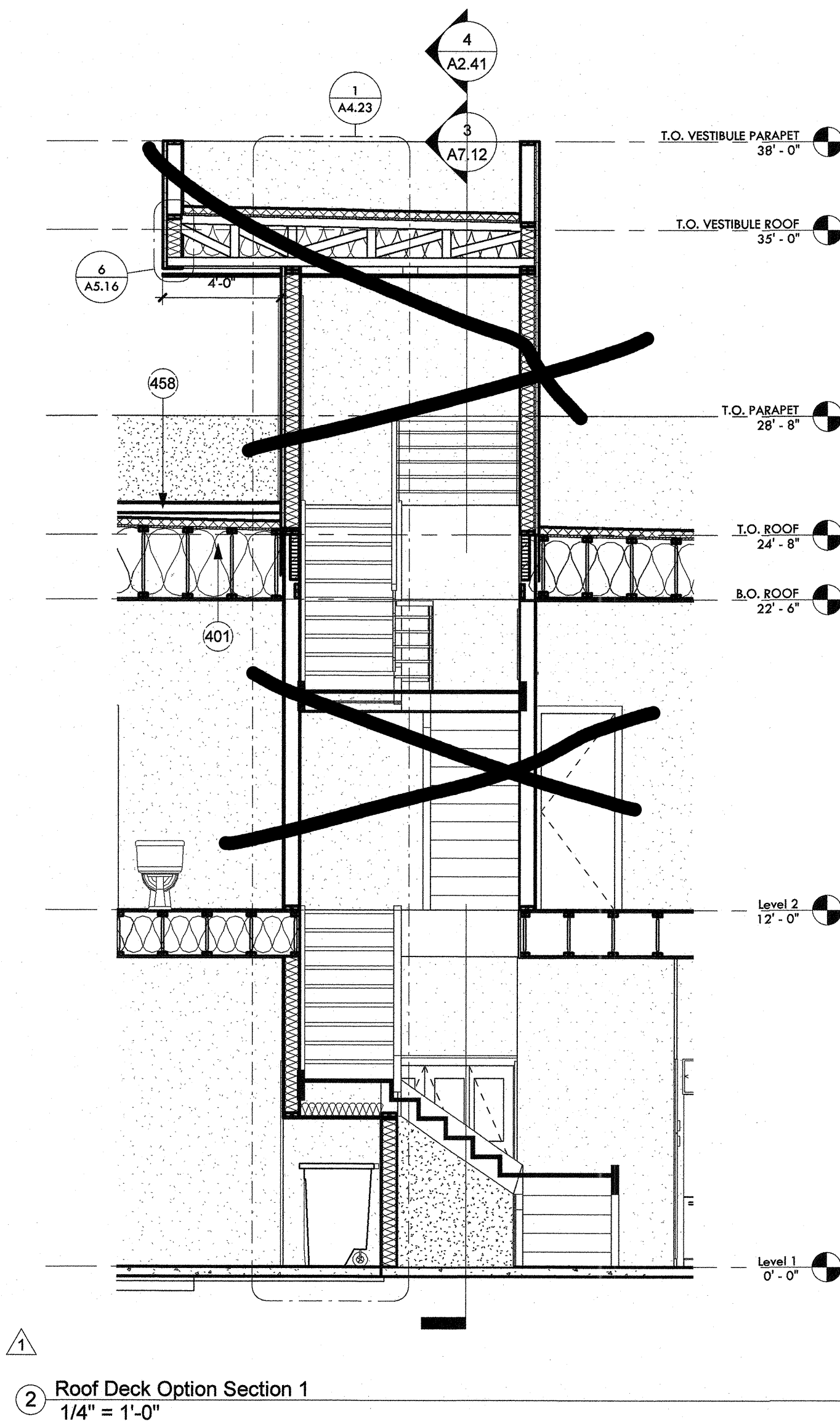
Vertical Circulation

A7.11

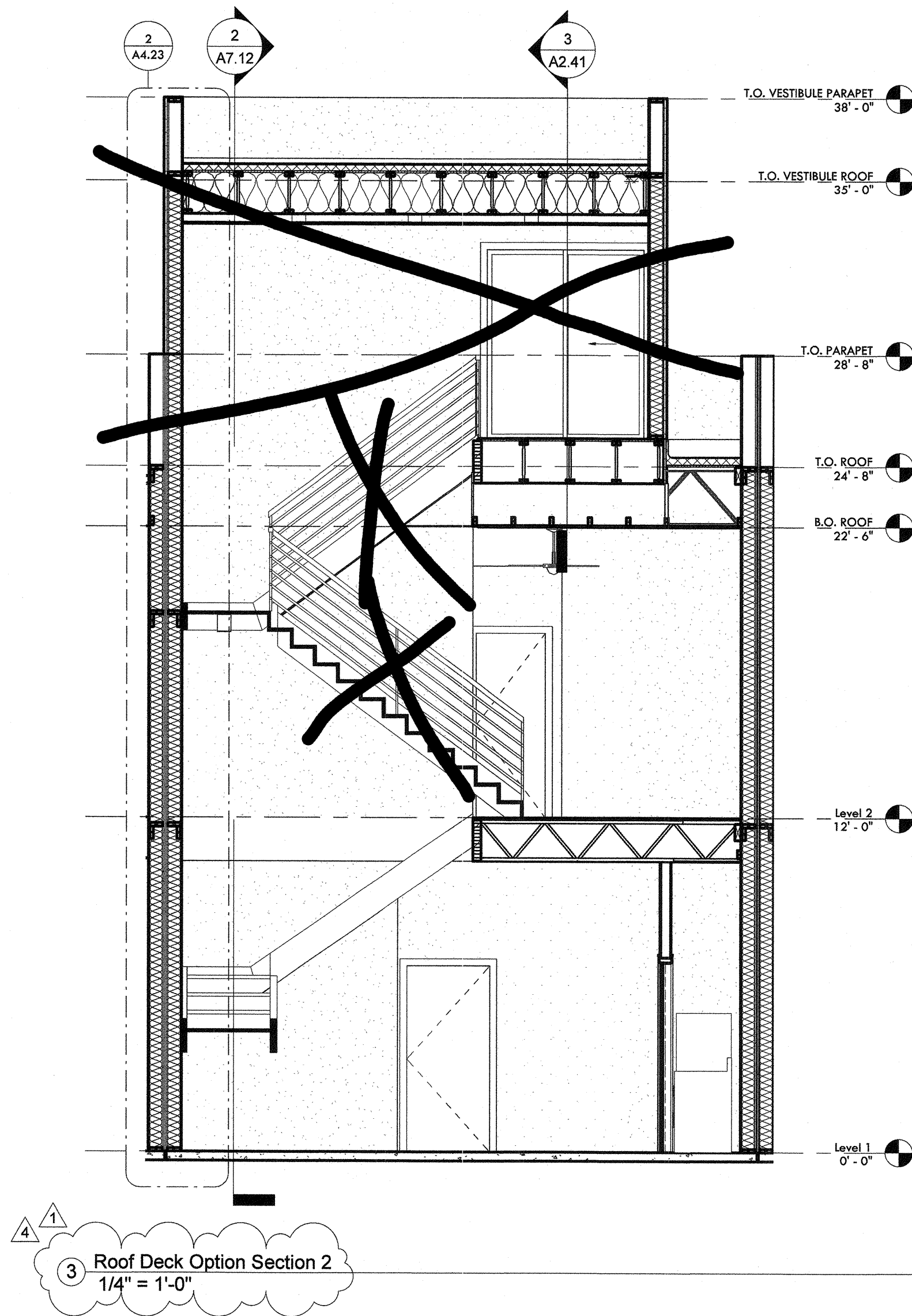


KEYNOTES

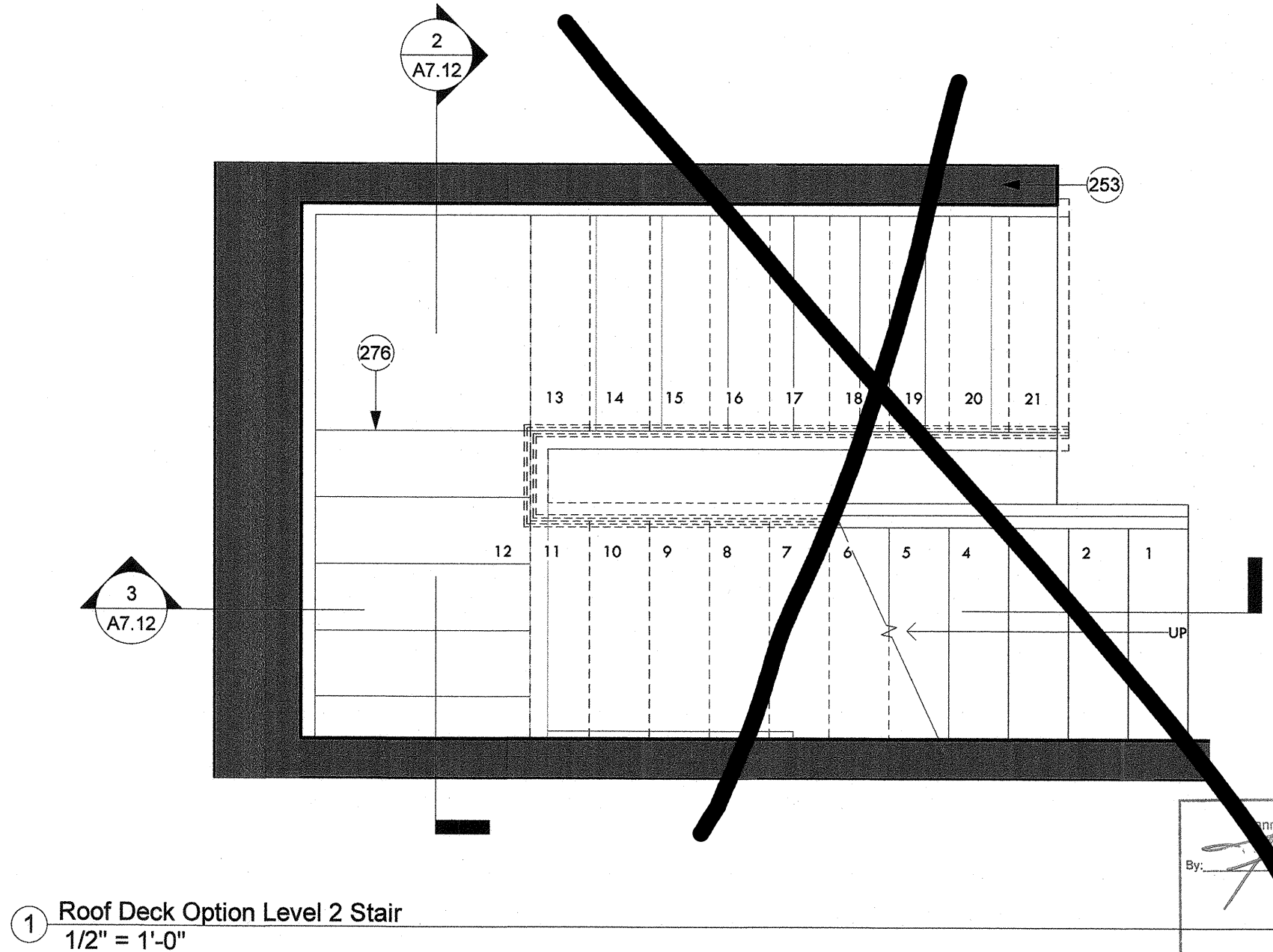
253	42" high framed pony wall. Gyp bd. with paint finish.
276	Stair below.
401	Roof assembly. See structural.
458	Raised composite decking, BOD Trex Select Woodland Brown.



1 Roof Deck Option Section 1
1/4" = 1'-0"



2 Roof Deck Option Section 2
1/4" = 1'-0"



3 Roof Deck Option Level 2 Stair
1/2" = 1'-0"

CONSTRUCTION DOCUMENTS

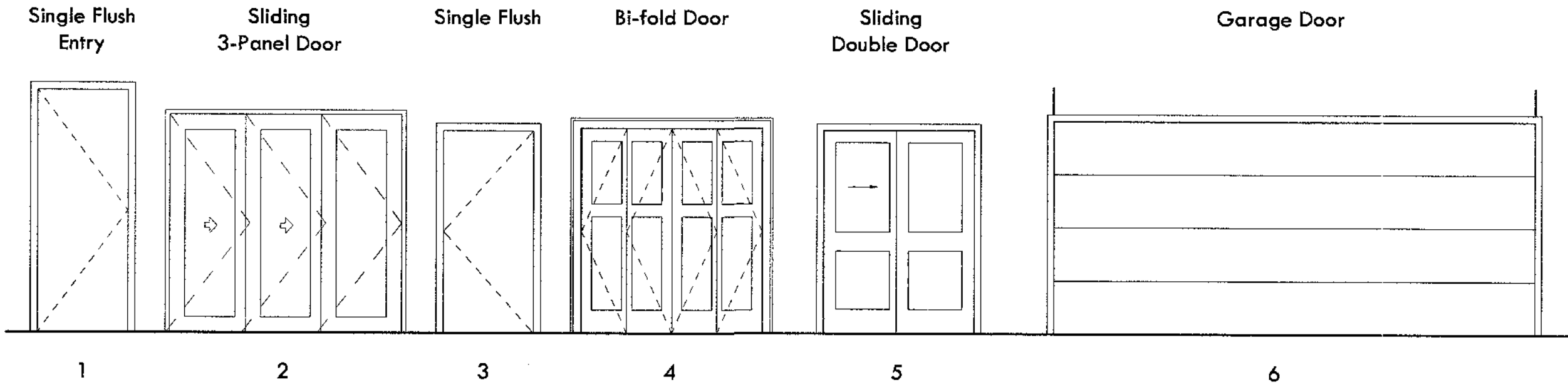
Revision Schedule		
No.	Date	Description
1	05.21.2019	OWNER UPDATES
4	08.13.2019	CITY COMMENTS - SECOND REVIEW

Vertical Circulation

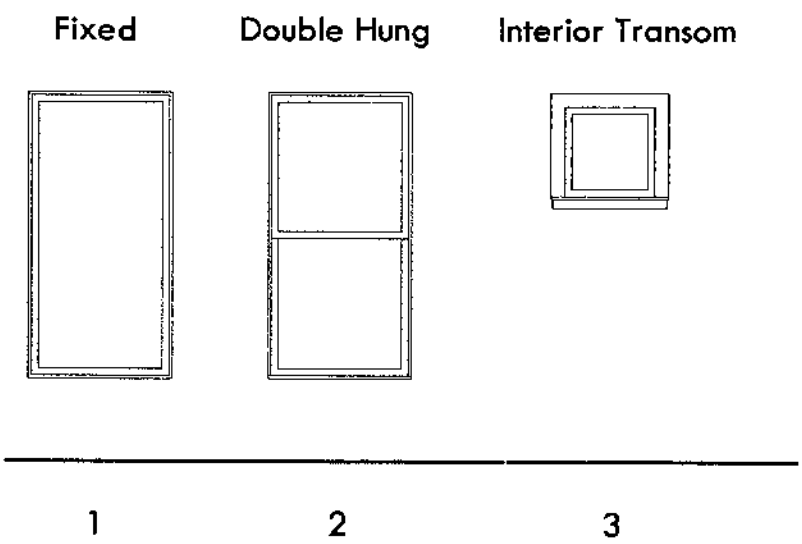
CITY OF PHOENIX
Department of Planning and Economic Development
By:
2019

This set of plans has been reviewed for PHOENIX CONSTRUCTION CODE prior to the issuance of Building Permit and shall be kept at the construction site. Such review shall not prevent the Building Official from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law or ordinance.

A7.12



Casework Schedule					
Type Mark	Family	Depth	Width	Height	Finish
B1	Base Cabinet-Double Door Sink Unit	2'-0"	3'-0"	2'-10 1/2"	
B2	Base Cabinet-4 Drawers	2'-0"	1'-0"	2'-10 1/2"	
B3	Base Cabinet-Single Door & Drawer	2'-0"	1'-0"	2'-10 1/2"	
B5	Base Cabinet-Single Door & Drawer	2'-0"	1'-9"	2'-10 1/2"	
B6	Base Cabinet-Double Door & 2 Drawer	2'-0"	3'-3"	2'-10 1/2"	
BF	Base Cabinet-Filler	2'-0"	0'-5"	2'-10 1/2"	
T1	Tall Cabinet-Double Door(4)	1'-4"	2'-8"	2'-0"	
U1	Upper Cabinet-Double Door-Wall	2'-5"	3'-0"	1'-2"	
U2	Upper Cabinet-Single Door-Wall	1'-0"	1'-9"	2'-6"	
V1	Base Cabinet-Double Door & 2 Drawer	2'-0"	3'-2"	2'-10 1/2"	
V2	Base Cabinet-Double Door Sink Unit	2'-0"	2'-6"	2'-10 1/2"	
V5	Base Cabinet-4 Drawers	2'-0"	2'-0"	2'-10 1/2"	



Door Schedule									
Door Number	Door			Material	Finish	Door Rating	Frame		Comments
	Width	Height	Thickness				Material	Hardware Set #	
101a	3'-0"	7'-0"	0'-2"	Fiberglass	Paint		Wood	01	
101b	8'-6"	7'-4"	0'-2"	Aluminum	Dark Bronze		Aluminum	SL01	Tempered per IRC2018 R308.4.
102	3'-0"	6'-8"	0'-1 1/4"	Solid core	Paint	20 Minute	Wood	02	
103	6'-0"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	8FD1	2" undercut
104	2'-6"	7'-0"	0'-1 1/4"	Hollow core	Paint		Wood	03	
105	16'-0"	7'-0"	0'-1 1/2"	Steel	Paint		Steel	OHO1	
107	4'-6"	5'-1"	0'-2"						
108	5'-3"	5'-1"	0'-2"						
109	5'-3"	5'-1"	0'-2"						
110	5'-3"	5'-1"	0'-2"						
111	5'-3"	5'-1"	0'-2"						
112	5'-3"	5'-1"	0'-2"						
113	4'-6"	5'-1"	0'-2"						
201	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	04	
202	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	05	
203	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	05	
204	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	05	
205	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	05	
206	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	04	
207	5'-0"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	8FD1	
208	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	05	
209	2'-6"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	05	
210	5'-0"	6'-8"	0'-1 1/4"	Hollow core	Paint		Wood	8FD1	
301	5'-8"	6'-10"	0'-2"	Aluminum	Dark Bronze		Aluminum	AL01	

Window Schedule							
Window Type	Unit Dimensions		Type	Material	Finish	Comments	
	Width	Height					
1	1'-0"	6'-0"	Fixed	Aluminum	Dark bronze		
1	1'-4"	6'-0"	Fixed	Aluminum	Dark bronze	END UNIT ONLY. SEE ELEVATIONS.	
1	2'-0"	4'-0"	Fixed	Aluminum	Dark bronze	ROOF DECK OPTION ONLY.	
1	3'-0"	6'-0"	Fixed	Aluminum	Dark bronze	END UNIT ONLY. SEE ELEVATIONS.	
1	4'-0"	2'-0"	Fixed	Aluminum	Dark bronze	END UNIT ONLY. SEE ELEVATIONS.	
1	6'-0"	2'-0"	Fixed	Aluminum	Dark bronze	END UNIT ONLY. SEE ELEVATIONS.	
1	6'-0"	6'-0"	Fixed	Aluminum	Dark bronze	OCCURS AT 2ND FLOOR SPACES OPEN TO BELOW.	
2	3'-0"	6'-0"	Double Hung	Aluminum	Dark bronze		
2	4'-0"	6'-0"	Double Hung	Aluminum	Dark bronze		
3	2'-0"	2'-0"	Transom with Trim	Aluminum	Dark bronze	INTERIOR TRANSOM. FROSTED FINISH.	

ROOM FINISH SCHEDULE							
Room Number	Room Name	Area (Net)	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
101	LIVING	226 SF	F2	B2	P1	P2/C2	
102	KITCHEN	129 SF	F2	B2	P1	P2/C1	
103	DINING	123 SF	F2	B2	P1	P2/C1	
104	STAIR	134 SF	F2	B2	P1	P2/C2	
105	LAUNDRY	19 SF	F2	B2	P1	P2/C1	
106	POWDER	25 SF	F2	B2	P1	P2/C1	
107	TWO CAR GARAGE	467 SF	F4	B1	P1	P2/C1	
201	LARGE FLEX	337 SF	F1	B2	P1	P2/C1	
203	SMALL FLEX	216 SF	F1	B2	P1	P2/C1	
204	MASTER BEDROOM	1189 SF	F1	B2	P1	P2/C1	
205	WALK-IN CLOSET	41 SF	F1	B2	P1	P2/C1	
206	MASTER BATHROOM	67 SF	F3	B3	W1 / P1	P2/C3	
207	MASTER TOILET	15 SF	F3	B3	P1	P2/C1	
208	BATHROOM	35 SF	F3	B3	W1 / P1	P2/C1	
209	TOILET	32 SF	F3	B3	W1 / P1	P2/C3	
210	BEDROOM A	108 SF	F1	B2	P1	P2/C1	
211	CLOSET A	14 SF	F1	B2	P1	P2/C1	
212	BEDROOM B	108 SF	F1	B2	P1	P2/C1	
213	CLOSET B	14 SF	F1	B2	P1	P2/C1	
214	LINEN	9 SF	F1	B2	P1	P2/C1	
301	ROOF DECK VESTIBULE	125 SF	F1	B2	P1	P2/C1	
302	DINING	122 SF					
303	KITCHEN	132 SF					
401	LIVING	226 SF					
404	STAIR	168 SF					
405	LAUNDRY	19 SF					
406	POWDER	27 SF					
407	TWO CAR GARAGE	443 SF					

FINISH, DOOR, AND WINDOW NOTES

- VERIFY ALL WINDOWS, DOORS, AND FINISHES WITH SPECIFICATIONS.
- ALL WINDOWS AND DOORS TO BE INSTALLED TO MEET ENERGY CODE REQUIREMENTS PER RES CHECK.
- END UNITS (EAST AND WEST) WILL HAVE ALTERNATIVE WINDOW LAYOUTS AT EAST AND WEST WALLS. SEE ELEVATIONS.
- SEE ELEVATIONS FOR SILL HEIGHTS.
- ALL FINISH SELECTIONS ARE BASIS FOR DESIGN. FINAL FINISH SELECTION TO BE APPROVED BY OWNER AND ARCHITECT.

FINISH LEGEND

FLOOR
F1 6"x48" LVT w/28 mil wear layer BOD; ROPPE. Northern Timbers loose lay vinyl wood plank. Colors: 042 Voodoo beach
F2 Polished concrete.
F3 12 x 12 full body porcelain tile BOD: Kaiser Tile, instock collection. Style: Wide, Color: Fog.
F4 Sealed concrete, motté finish.

BASE
B1 Rubber base: Roppe - Contours Profiled Wall Base System: Candid 3" - Color: 100 black
B2 3" Painted MDF - Color: P3 - Rectangular profile.
B3 Schluter - Designbase - SL.

WALL
W1 2x1 Kaiser Tile (Glass), KOLLECTIONS, KT Accents, Horizon: M

CEILING
C1 Gypsum Board Ceiling
C2 Open to Above
C3 Moisture Resistant Gypsum Board Ceiling (PROVIDE AT ALL WET AREAS)
C4 Exterior Ceiling with Stucco Finish

PAINT
P1 Paint - Field Color: Zero - Dunn Edwards, Color: Whisper DEW340, Satin Finish
P2 Paint - Ceilings and Soffits - Dunn Edwards, Color: Whisper DEW340, Flat Finish
P3 Paint - Interior Handrails, Doors and Trim - Dunn Edwards, Color: Whisper DEW340, Semigloss Finish
P4 Paint - Exterior Door Color: Color: DE5348 - Corn Harvest, Semigloss Finish
P5 Paint - Exterior Window: Color: TBD, Semigloss Finish

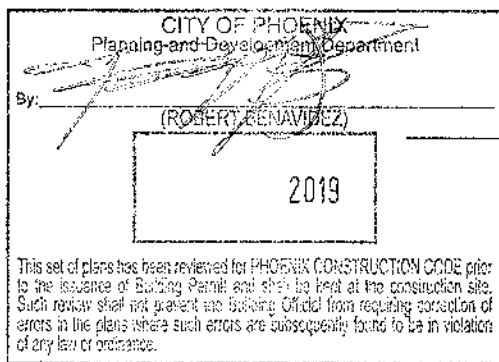
MISC
ML1 Millwork base and upper cabinets. J&K Cabinets - S8 White. Satin nickel hardware. Flush style.
SS1 Solid Surface Countertop Material - Arizona Tile - Quartz - Finish: Metropolis White.

CONSTRUCTION DOCUMENTS

Revision Schedule		
No.	Date	Description
2	05.21.2019	CITY COMMENTS

Expires 09/30/2019

Door, Window, and Finish Schedules



A8.11